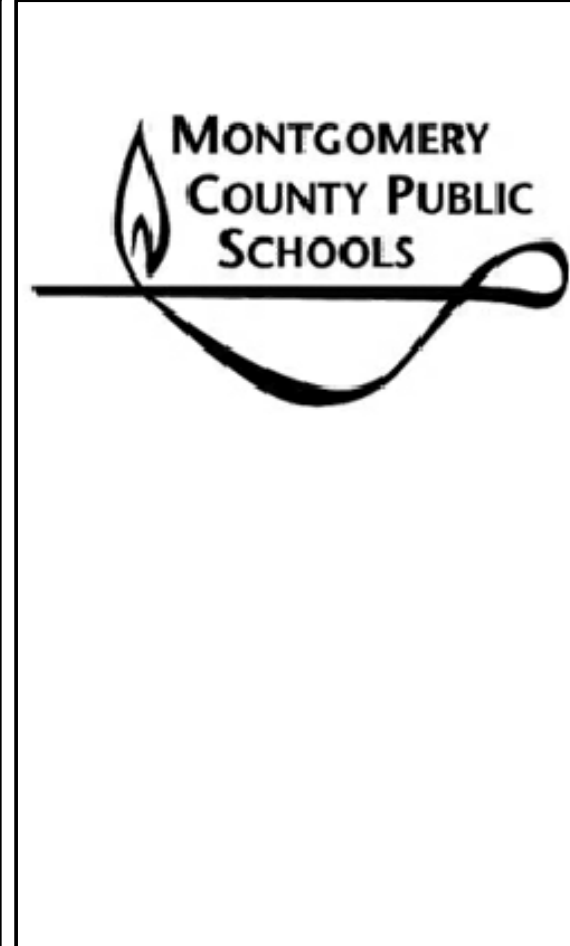
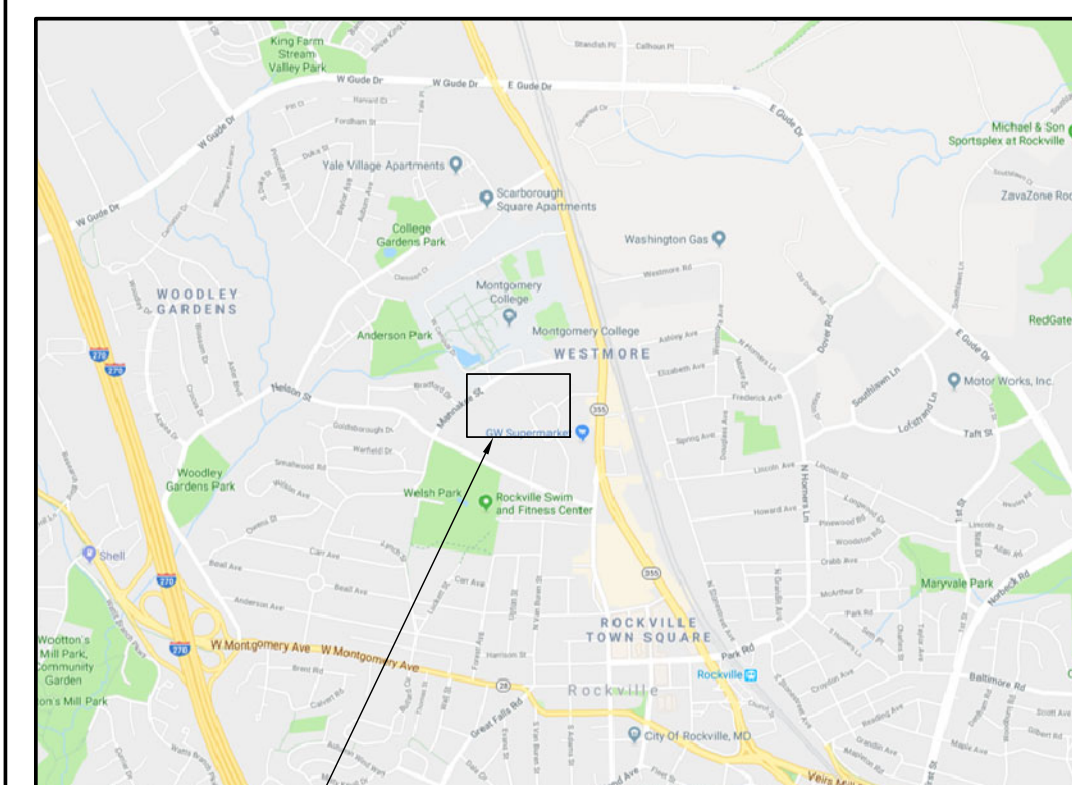


PROJECT INFORMATION

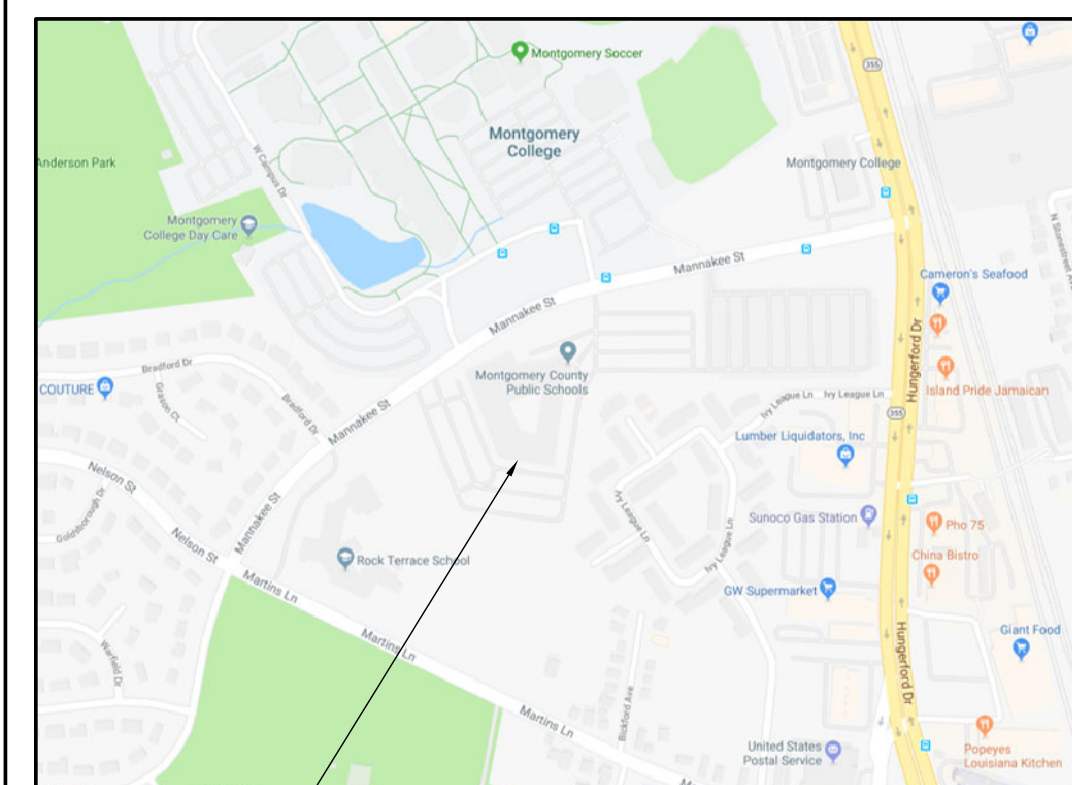
ELEVATORS 1&2 MODERNIZATION FOR: CARVER EDUCATIONAL SERVICES CNT. MONTGOMERY COUNTY PUBLIC SCHOOLS 850 HUNGERFORD DRIVE ROCKVILLE, MD 20850



VICINITY & LOCATION MAP



SEE LOCATION MAP VICINITY MAP NOT TO SCALE



LOCATION OF CARVER EDUCATIONAL SERVICE CENTER LOCATION MAP NOT TO SCALE

LEGEND

	BRICK
	Gru
	CONCRETE
	FINISHED WOOD
	ROUGH WOOD
	FLYWOOD
	METAL
	BOARD
	BIT
	BLDG
	BLKS
	BOTTOM OF FOOTING
	BOTTOM BEARING
	BRG
	CAB
	CENTER LINE
	CONSTRUCTION JOINT
	CEILING
	CEILING HEIGHT
	CLOSET
	CLEAR
	CONCRETE MASONRY UNIT
	CONTROL JOINT
	CLEAN OUT
	COLUMN
	CONCRETE CONTINUOUS CORRIDOR CENTER
	CENTER
	DOUBLE
	DIAMETER
	DIAMETER
	DIMENSION
	DOWN
	DOWN
	DOWNSPOUT
	DETAIL
	DRAINING
	EACH
	EXPANSION JOINT
	ELEVATION
	ELECTRIC
	EQUAL
	EQUIPMENT
	EACH WAY
	ELECTRIC WATER COOLER
	EXISTING
	EXPANSION
	EXTERIOR
	FLOOR DRAIN
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET
	FINISH
	FLOOR
	FLOURESCENT
	FACE OF EXISTING
	FURRING/FURRED
	FOOT/FEET
	FOOTING
	GALVANIZED
	GENERAL CONTRACTOR
	GLASS
	GRADE
	GYPSUM WALL BOARD
	HANDICAPPED
	HOSE BIB
	HARDWARE
	HOLLOW METAL
	HORIZONTAL
	HEIGHT
	HEATING VENTILATION & AIR CONDITIONING
	INSIDE DIAMETER
	INCHES
	INFORMATION
	INSULATION
	INTERIOR
	JANITOR
	JOINT
	LAMINATE
	LAVATORY
	LINEAR FEET
	LONG
	LONG LEG HORIZONTAL
	LONG LEG VERTICAL
	MASONRY
	MATERIAL
	MAXIMUM
	MECHANICAL
	MANUFACTURER
	MINIMUM
	MISCELLANEOUS
	MASONRY OPENING
	MOUNTED
	METAL
	NATURAL
	NUMBER IN CONTRACT
	NO.
	NOMINAL
	NOT TO SCALE
	OVERALL
	ON CENTER
	OUTSIDE DIMENSION
	OVERHANG
	OUT TO OUT
	OPENING OPPOSITE
	PAINTED GYPSUM BOARD
	PLAS. LAM.
	PLAS. LAM.
	PLYWOOD
	POLISHED
	PREFABRICATED
	PREFINISHED
	PAIR
	PRESSURE TREATED
	PAINTED
	POLY-VINYL CHLORIDE
	RISER
	ROOF DRAIN
	RECEPTACLE
	REINFORCING
	REQUIRED
	REVISED
	ROOM
	ROUGH OPENING
	SCHEDULE
	SECTION
	SHEET
	SIMILAR
	SOLID MASONRY PIER
	SPECIFICATIONS
	SQUARE
	STAINLESS STEEL
	STANDARD
	STEEL
	STORAGE
	STRUCTURAL
	SUBFENDED
	SYMMETRICAL
	TREAD
	TONGUE & GROOVE
	TELEPHONE
	THICKNESS
	THROUGH
	TOP OF SLAB
	TOP OF STEEL
	TYPICAL
	UNLESS OTHERWISE NOTED
	VARIABLE
	VINYL COMPOSITION TILE
	VERTICAL
	VESTIBULE
	VERIFY IN FIELD
	VINYL WALL COVERING
	WITH
	WIDTH
	WOOD
	WINDOW
	WEIGHT
	WITHOUT
	WEATHERPROOF
	WELDED WIRE FABRIC

ABBREVIATIONS

2x	ANGLE	JAN.	JANITOR
ACOUS.	ACOUSTIC	JT.	JOINT
ACT	ACOUSTICAL CEILING TILE	LAM.	LAMINATE
A.D.	AREA DRAIN	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LIN. FT.	LINEAR FEET
A.F.F.	ABOVE FINISHED FLOOR	L6.	LONG
AIR COND.	AIR CONDITIONING	L.H.	LONG LEG HORIZONTAL
ALT.	ALTERNATE	L.L.V.	LONG LEG VERTICAL
ALUM.	ALUMINUM	MAS.	MASONRY
ANCH.	ANCHORED	MATL.	MATERIAL
A.P.	ACCESS PANEL	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECT	MFR.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BIT.	BITUMINOUS	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BLKS	BLOCKING	MTD.	MOUNTED
B.O.F.	BOTTOM OF FOOTING	MTL.	METAL
BOT.	BOTTOM	NAT.	NATURAL
BRS.	BEARING	N.C.	NUMBER IN CONTRACT
¢	CENTER LINE	NO.	NO.
CAB.	CABINET	NOM.	NOMINAL
C-j	CONSTRUCTION JOINT	N.T.S.	NOT TO SCALE
CLG.	CEILING	OA.	OVERALL
CLG. HT.	CEILING HEIGHT	O/C	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIMENSION
CMU	CONCRETE MASONRY UNIT	OH.	OVERHANG
CNTRL. JT.	CONTROL JOINT	O/O	OUT TO OUT
C.O.	CLEAN OUT	O.P.S.	OPENING OPPOSITE
COL.	COLUMN	OFF.	OPPOSITE
CNG.	CONCRETE CONTINUOUS CORRIDOR CENTER	P66	PAINTED GYPSUM BOARD
CONR.	CORRIDOR	P.F. 1	PLAS. LAM.
CTR.	CENTER	P.F. 2	PLAS. LAM.
¢	DIAMETER	PLY.	PLYWOOD
DBL.	DOUBLE	POL.	POLISHED
D.F.	DIAMETER	PREFAB.	PREFABRICATED
DIA.	DIAMETER	PREFIN.	PREFINISHED
DIM.	DIMENSION	PAIR	PAIR
DN.	DOWN	P.T.	PRESSURE TREATED
DS.	DOWNSPOUT	PTD.	PAINTED
DTL.	DETAIL	P.V.G.	POLY-VINYL CHLORIDE
DNG.	DRAINING	R.	RISER
EA.	EACH	R.D.	ROOF DRAIN
E.J.	EXPANSION JOINT	RECPT.	RECEPTACLE
EL. ELEV.	ELEVATION	REINF.	REINFORCING
ELEG.	ELECTRIC	REQD.	REQUIRED
EQ.	EQUAL	REV.	REVISED
EQUIP.	EQUIPMENT	R.M.	ROOM
E.H.	EACH WAY	R.O.	ROUGH OPENING
E.W.C.	ELECTRIC WATER COOLER	SCHED.	SCHEDULE
EX. EXIST.	EXISTING	SECT.	SECTION
EXP.	EXPANSION	SHT.	SHEET
EXT.	EXTERIOR	SM	SIMILAR
F.D.	FLOOR DRAIN	S.M.P.	SOLID MASONRY PIER
F.E.	FIRE EXTINGUISHER	S.P.S.	SPECIFICATIONS
F.E.G.	FIRE EXTINGUISHER CABINET	SO.	SQUARE
FIN.	FINISH	ST. STL.	STAINLESS STEEL
FL. FLR.	FLOOR	STD.	STANDARD
FLUR.	FLOURESCENT	STL.	STEEL
F.O.EX.	FACE OF EXISTING	STOR.	STORAGE
FURR.	FURRING/FURRED	STRUCT.	STRUCTURAL
FT. '	FOOT/FEET	SUF.	SUBFENDED
FTS.	FOOTING	SYM.	SYMMETRICAL
GA.	GALVANIZED	T.	TREAD
GA.LV.	GALVANIZED	T. 1/4	TONGUE & GROOVE
G.C.	GENERAL CONTRACTOR	TEL.	TELEPHONE
GL.	GLASS	THK.	THICKNESS
GRD.	GRADE	THRU.	THROUGH
GYP. BD. 5/8	GYPSUM WALL BOARD	T.O.S.	TOP OF SLAB
H.C.	HANDICAPPED	T.O.STL.	TOP OF STEEL
H.B.	HOSE BIB	TYP.	TYPICAL
H.D.W.	HARDWARE	U.O.N.	UNLESS OTHERWISE NOTED
H.M.	HOLLOW METAL	VAR.	VARIABLE
HORIZ.	HORIZONTAL	V.C.T.	VINYL COMPOSITION TILE
HT.	HEIGHT	VERT.	VERTICAL
HVAC	HEATING VENTILATION & AIR CONDITIONING	VEST.	VESTIBULE
I.D.	INSIDE DIAMETER	V.F.	VERIFY IN FIELD
IN.	INCHES	V.V.G.	VINYL WALL COVERING
INFO.	INFORMATION	W.	WITH
INSUL.	INSULATION	W.	WIDTH
INT.	INTERIOR	WD.	WOOD
		WIDN.	WINDOW
		WGT.	WEIGHT
		W/O.	WITHOUT
		WP.	WEATHERPROOF
		WWF.	WELDED WIRE FABRIC

CONTACT LIST

OWNER:
MONTGOMERY COUNTY PUBLIC SCHOOLS
DIVISION OF MAINTENANCE
8301 TURKEY THICKET DR., BLDG A, 1ST FLOOR
GAITHERSBURG, MD 20879
TEL. : (240)-740-2510
FAX : (301)-284-4947

ARCHITECT:
PROFFITT & ASSOCIATES
ARCHITECTS, PC
49 SOUTH CARROLL STREET
FREDERICK, MD 21701
TEL. : (301)-662-8532
FAX : (301)-662-4192

MECH. / ELEC. ENGINEER :
ALBAN ENGINEERING INC.
303 INTERNATIONAL CIR #450
COCKEYSVILLE, MD 21030
TEL. : (410)-842-6411

GENERAL NOTES

- BIDDERS SHALL CAREFULLY EXAMINE THE BIDDING DOCUMENTS, ACQUAINT THEMSELVES WITH ALL GOVERNING LAWS AND CODES, VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS.
- PART OF THE CONTRACTOR'S WORK INVOLVES ALTERATIONS TO AN EXISTING FACILITY. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE ACTUAL FIELD CONDITIONS, AND CHECK THE ACCURACY OF THE EXISTING CONDITIONS. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR EXECUTING ANY AND ALL WORK SHOWN, NOTED, OR SPECIFIED.
- THE INTENT OF THESE DRAWINGS IS FOR THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION, AND SERVICES NECESSARY FOR AND INCIDENTAL WITH THE WORK, TO PROVIDE THE OWNER WITH A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS.
- ALL WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, THE CURRENT BUILDING CODE, LIFE SAFETY CODE, ADAAS, AS WELL AS ORDINANCES AND REGULATIONS AND OTHER BUILDING CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND WARRANTY REQUIREMENTS.
- INDIVIDUAL SUBCONTRACTORS FOR ANY ELECTRICAL AND MECHANICAL WORK SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, ETC., AND PERFORM ALL WORK IN CONFORMANCE TO ALL LOCAL CODES.
- DISBURSE AS SMALL AN AREA OF THE SITE AS POSSIBLE DURING CONSTRUCTION OPERATIONS UNLESS OTHERWISE NOTED, PREPARE AND SEED DISTURBED AREAS AT THE COMPLETION OF THE PROJECT.
- REPAIR ALL AREAS DISTURBED BY THE WORK OF THIS PROJECT, INCLUDING SUBSTRATES OR STRUCTURAL REPAIRS, AND REPAIRS TO FINISHES TO MATCH AND ALIGN WITH EXISTING FINISHES TO REMAIN OR NEW FINISHES INSTALLED.
- THE JOB SITE IS TO BE LEFT CLEAN AND FREE FROM DEBRIS AT ALL TIMES.
- UNLESS OTHERWISE NOTED, ALL WORK IS CONSIDERED TO BE NEW CONSTRUCTION.
- CONTRACTOR TO PROTECT ALL EXISTING UNDERGROUND UTILITIES AND VERIFY LOCATION PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING, BRACING, AND TAKE OTHER PRECAUTIONS NECESSARY FOR SAFETY AS REQUIRED BY CODE AND PRACTICE.
- CONTRACTOR SHALL STAGE WORK IN SUCH A MANNER AS TO ENSURE SAFE EMERGENCY EGRESS AT ALL TIMES.
- EXCEPT FOR PRE-FINISHED SURFACES ALL ITEMS DISTURBED OR DAMAGED BY WORK SHALL BE REFINISHED TO MATCH SURROUNDING AREA OR FINISHED AS INDICATED.
- REPAIRED AND NEW AREAS OF WALLS OR CEILINGS SHALL BLEND AND FEATHER INTO SURROUNDING AREA WITHOUT ANY VISIBLE SEAMS OR CHANGE IN APPEARANCE BETWEEN THE REPAIRED OR NEW AREA AND THE SURROUNDING AREA WHEN VIEWED FROM A DISTANCE OF 3 FEET.

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING CONCEALED WITHIN THE WALLS, FOR ATTACHMENT OF SURFACE AND/OR RECESSED MOUNTED EQUIPMENT OR ACCESSORIES, WHETHER SHOWN IN THE DRAWINGS OR NOT. BLOCKING TO BE FIRE RETARDANT.
- CONTRACTOR SHALL SUPPLY ALL NECESSARY ANCHORS, TIES, CLIPS, HANGERS, BOLTS, AND OTHER FASTENING DEVICES AS REQUIRED BY CODE AND GOOD PRACTICE.
- CONTRACTOR SHALL PROVIDE SEALANT AROUND LOUVERS, DOOR JAMES AND HEADS AND ADJACENT CONSTRUCTION.
- PART OF THIS WORK MAY INCLUDE THE INSTALLATION AND/OR MODIFICATION OF A SPRINKLER SYSTEM IN AN EXISTING BUILDING. CONTRACTOR IS RESPONSIBLE TO CONCEAL ALL NEW PIPING WITHIN EXISTING CONSTRUCTION AND MAKE REPAIRS AS NECESSARY TO MATCH EXISTING OR NEW FINISHES.
- PRIOR TO MODIFICATION OR ADDITION OF SPRINKLER IN EXISTING BUILDING, SUBCONTRACTOR TO CONFIRM FINAL CEILING HEIGHT WITH CONTRACTOR DUE TO JOB CONDITIONS.
- EXISTING BUILDING INFORMATION IS BASED ON INFORMATION PROVIDED BY OTHERS AND PROFFITT & ASSOCIATES ARCHITECTS' FIELD SURVEYS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO SUBMITTING SHOP DRAWINGS, AND BEFORE CONSTRUCTION AND FABRICATION OF MATERIALS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FROM THE INFORMATION PROVIDED IN A TIMELY MANNER.
- DRAWING INTENT IS TO INDICATE GENERAL ARRANGEMENT, DESIGN AND INTENT OF WORK AND IS PARTIALLY DIAGRAMMATIC. IT SHALL NOT BE SCALED FOR ROUGH-IN MEASUREMENTS. UNLESS OTHERWISE NOTED, CONSTRUCTION OR FABRICATION ALL DIMENSIONS FOR BUILT-IN ITEMS SHALL BE BASED ON FIELD DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF DIMENSIONS.
- DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL PLANS, SECTIONS OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL, OR OPPOSITE PLANS, SECTIONS OR DETAILS.
- THE CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, CLEAN THE SPACE, INCLUDING BUT NOT LIMITED TO, GLASS, DOORS, FRAMES, FLOORS, BASE, HVAC DIFFUSERS AND GRILLS, AND LIGHT FIXTURES, AND VACUUM THE CARPETS.
- CONTRACTOR SHALL SEPARATE CONSTRUCTION AREA FROM EXISTING BUILDINGS WITH DUST PROOF BARRIERS.
- CONTRACTORS SHALL SUPPLY AND REPLACE EXISTING AIR FILTERS IN AREAS OF RENOVATION AND PROTECT DUCTWORK DURING CONSTRUCTION WITH TEMPORARY FILTER ON RETURN DUCTWORK.
- REFER TO THE GENERAL SPECIFICATIONS.

DRAWINGS LIST

- A01 COVER SHEET
- ARCHITECTURAL DRAWINGS**
- A11 EXISTING / DEMOLITION & PROPOSED FLOOR PLANS
- A51 INTERIOR ELEVATION AND SECTIONS THRU ELEVATOR SHAFT
- MECHANICAL DRAWINGS**
- M01 MECHANICAL NOTES & LEGEND
- M11 MECHANICAL PART PLAN - NEW WORK & DEMOLITION
- ELECTRICAL DRAWINGS**
- E01 LEGEND, ABBREVIATION, CONVENTIONS, & FIRE ALARM LOCATION
- E11 EXISTING/DEMOLITION & PROPOSED FLOOR PLANS

SCOPE OF WORK

THIS PROJECT CONSISTS OF INTERIOR RENOVATIONS TO AN EXISTING ADMINISTRATIVE BUILDING IN ORDER TO MODERNIZE THE EXISTING ELEVATORS. THERE ARE TWO EXISTING TRACTION ELEVATORS TO BE MODERNIZED. ELEVATOR 1 IS A 3-STOP UNIT, ELEVATOR 2 IS A 4-STOP UNIT. BASE BID IMPROVEMENTS TO THE SPACE ARE LIMITED TO INTERIOR WORK AND INCLUDE ALL OR MOST OF THE FOLLOWING ASPECTS:

SELECTIVE DEMOLITION - PROJECT INCLUDES REMOVAL OF EXISTING ELEVATOR EQUIPMENT.

CONCRETE - WORK INCLUDES PROVISION OF NEW MECHANICAL HOSEKEEPING PAD FOR NEW SPLIT SYSTEM CONDENSER & REPAIR OF ANY EXISTING CONCRETE DAMAGED AS A RESULT OF THIS PROJECT.

MASONRY - THE PROJECT INCLUDES PATCHING & REPAIR OF EXISTING CMU WALLS AS REQUIRED FOR REMOVAL & REPLACEMENT OF EXISTING HM, DOOR FRAME AND INFILL OF EXISTING LOUVER/GRILLE/DUCTWORK OPENING.

MISCELLANEOUS METALS - PROJECT INCLUDES PROVISION & INSTALLATION OF A NEW STEEL PIT LADDER.

CARPENTRY AND GENERAL TRADES - THE PROJECT REQUIRES INSTALLATION OF NEW LIGHT GAUGE METAL SHAFT WALL SYSTEM.

DOORS AND LOUVERS - THE PROJECT INCLUDES RETROFIT OF EXISTING AND/OR INSTALLATION OF NEW FIRE RATED HOLLOW METAL DOORS, FRAMES, HARDWARE, AND METAL LOUVERS.

FINISHES - THE PROJECT REQUIRES REPLACEMENT OF ALL ELEVATOR CAB FINISHES. THE PROJECT ALSO REQUIRES GYP. BD. WALL PATCHING, MASONRY WALL PATCHING, WALL PAINTING AND CERAMIC TILE PATCHING AT EXISTING WALLS IMMEDIATELY ADJACENT TO THE WORK AREA.

SPRINKLER SYSTEM - THE PORTION OF THE BUILDING UNDERGOING WORK DOES NOT CONTAIN A SPRINKLER SYSTEM - NO SPRINKLER WORK IS ANTICIPATED.

MECHANICAL - THE PROJECT REQUIRES THE REMOVAL OF THE EXISTING MACHINE ROOM EXHAUST SYSTEM AND PROVISION OF A NEW SPLIT SYSTEM HVAC UNIT.

PLUMBING - WORK INCLUDES NEW PIPING ASSOCIATED WITH EXISTING HVAC UNIT.

ELECTRICAL - THE PROJECT INCLUDES REMOVAL & REPLACEMENT OF EXISTING ELECTRICAL COMPONENTS ASSOCIATED WITH THE ELEVATOR, INCLUDING BUT NOT LIMITED TO WIRING DISCONNECTS, CIRCUIT BREAKERS, AND LIGHTING.

NO SITE WORK OR UTILITY WORK IS INCLUDED.
NO STRUCTURAL STEEL.
NO EXTERIOR ENVELOPE WORK OR ROOF WORK IS INCLUDED.

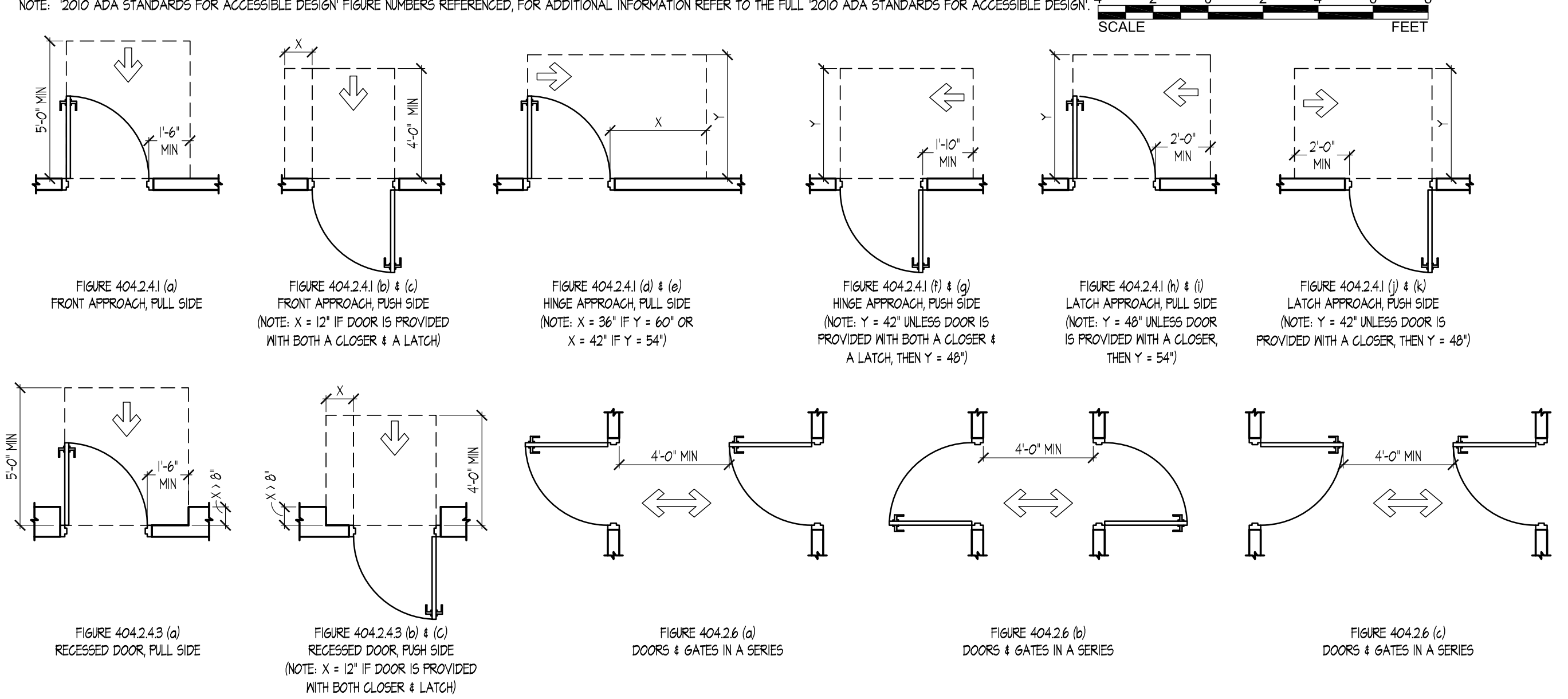
DESIGN CODES; AUTHORITY HAVING JURISDICTION - CITY OF ROCKVILLE:

BUILDING:	INTERNATIONAL BUILDING CODE 2015 MD BUILDING REHABILITATION CODE - COMAR 516.01 INTERNATIONAL EXISTING BUILDING CODE 2012
LIFE SAFETY:	STATE OF MARYLAND FIRE PREVENTION CODE NFPA 101 (LIFE SAFETY CODE) 2015 NFPA 1 (FIRE CODE) 2015 NFPA 92 (FIRE ALARM CODE) 2013 NFPA 72 (NATIONAL FIRE ALARM CODE) 2015
ELECTRICAL:	NFPA 70 (NATIONAL ELECTRICAL CODE)
MECHANICAL:	INTERNATIONAL MECHANICAL CODE (2015)
PLUMBING:	INTERNATIONAL PLUMBING CODE (2015)
ACCESSIBILITY:	AMERICAN WITH DISABILITY ACT 2010 MD ACCESSIBILITY CODE - COMAR 05.02.02
ELEVATOR:	ASME A17.1-2016

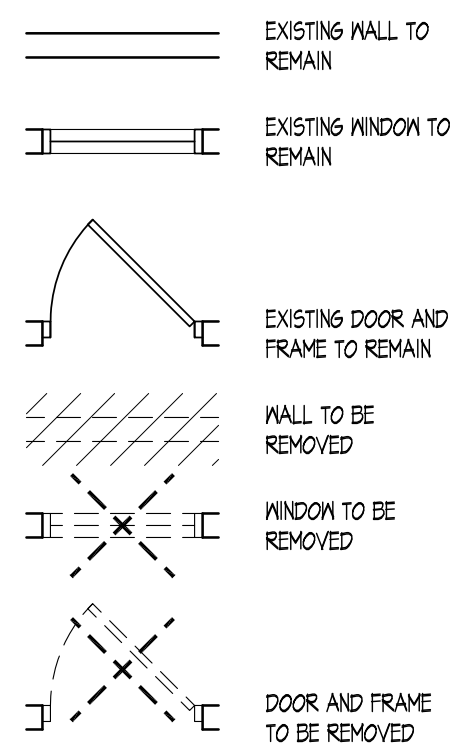
CODE NOTES:

- 80" WIDE x 51" DEEP MINIMUM INTERIOR CAB DIMENSIONS AND 42" MINIMUM CLEAR CAR DOOR WIDTH ARE TO BE MAINTAINED PER ADAAS 407.41.
- PER IBC, ELEVATOR HOISTWAY AND MACHINE ROOM ARE TO HAVE 2 HOUR FIRE RATINGS WITH 90 MINUTE OPENING PROTECTION. NEW COMPONENTS WILL BE CONSTRUCTED TO MEET THESE REQUIREMENTS. PER IBC 703.1, EXISTING MASONRY WALLS ARE TO REMAIN WITHOUT MODIFICATION.

ADA MANEUVERING CLEARANCES AT DOORS



DEMOLITION LEGEND:



SELECTIVE DEMOLITION NOTES:

- COMPLETELY REMOVE ALL EXISTING ELEVATOR MACHINE ROOM EQUIPMENT, INCLUDING BUT NOT LIMITED TO, MOTION CONTROLLERS, DRIVE MACHINES, SHEAVES, MOTORS, GOVERNORS, ETC. SEE MECH. & ELEC. DWGS FOR EXTENTS OF MEP DEMOLITION, INCLUDING DUCTWORK, PANELS, DISCONNECTS, LIGHT FIXTURES, ETC. PATCH AND REPAIR THE WALL/FLOOR AS REQUIRED WHERE EXISTING EQUIPMENT WAS MECHANICALLY ATTACHED. SEE SPECIFICATION SECTION 14210 FOR FULL DESCRIPTION OF SCOPE OF WORK.
- COMPLETELY REMOVE EXISTING ELEVATOR EQUIPMENT IN THE ELEVATOR HOISTWAYS, INCLUDING BUT NOT LIMITED TO, HATCH EQUIPMENT, CAR DOOR EQUIPMENT, HOISTWAY DOOR COMPONENTS, AND PIT LADDER. SEE SPECIFICATION SECTION 14210 FOR FULL LISTING OF EQUIPMENT TO BE REPLACED, RETAINED, AND RECONDITIONED.
- COMPLETELY REMOVE ALL CAR AND CORRIDOR FIXTURES NOTED TO BE REPLACED IN SPECIFICATION SECTION 14210. EXISTING ENTRANCE FRAMES TO REMAIN FOR RELOADING. PATCH EXISTING LOCATIONS WHERE EQUIPMENT IS REMOVED TO MATCH EXISTING IN ALL ASPECTS, I.E. SIZE, TYPE, COLOR, ETC.
- REMOVE EXISTING HM DOOR AND FRAME AND PREPARE OPENING FOR NEW RATED DOOR AND FRAME. PATCH & REPAIR SURROUNDING MASONRY AS REQUIRED.
- REMOVE EXISTING MECHANICAL EQUIPMENT AND DUCTWORK AND PREPARE OPENING FOR NEW RATED INFILL WALL TO MATCH EXISTING.
- REMOVE EXISTING MESH PARTITION AND PREPARE OPENING FOR NEW RATED WALL.
- REMOVE EXISTING CAB INTERIOR FINISHES COMPLETELY, INCLUDING, BUT NOT LIMITED TO, HANDRAILS, WALL CLADDING, CEILING, AND LIGHTING. PREPARE TO RECEIVE NEW FINISHES. EXISTING ASBESTOS TILE FLOORING WILL BE ABATED BY MOPS PRIOR TO START OF THE PROJECT.

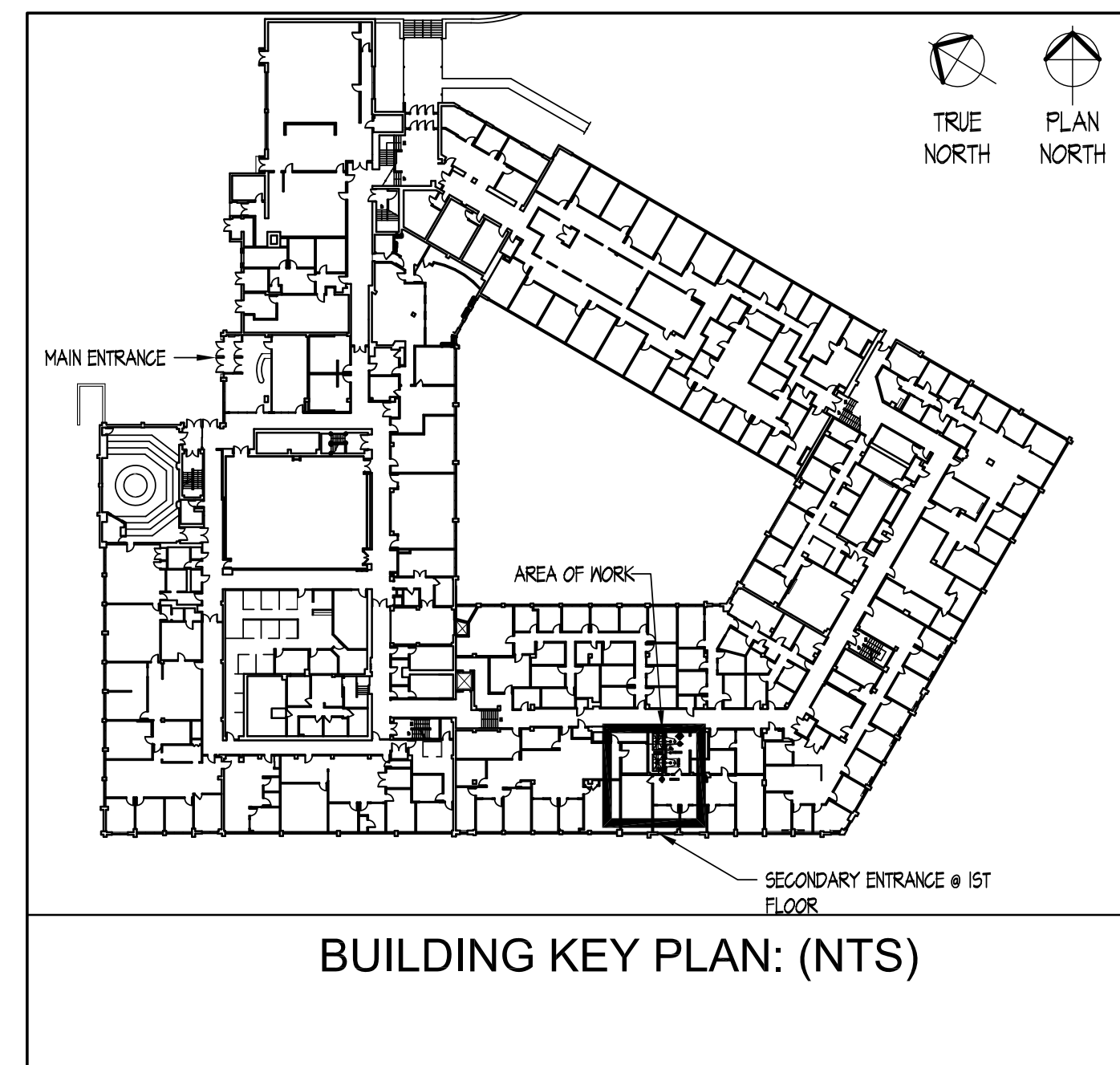
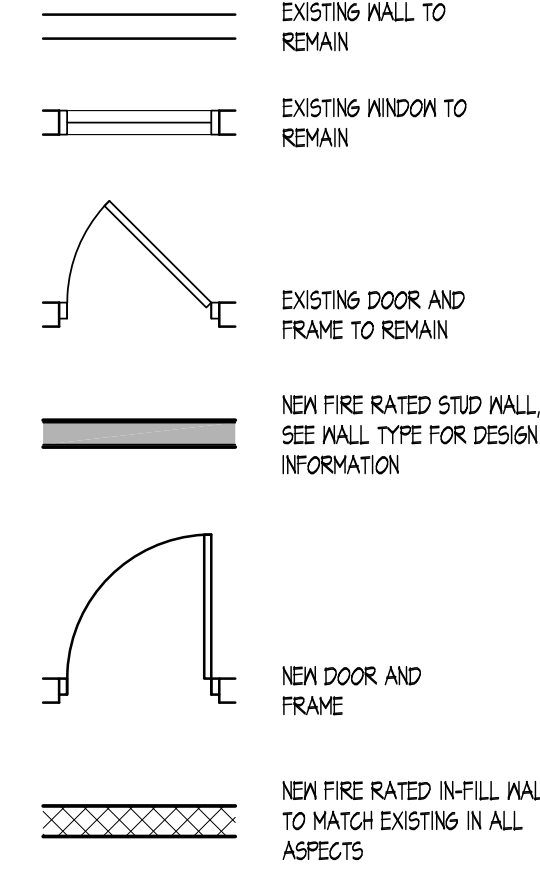
TYPICAL DEMOLITION GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED FOR INSTALLATION OF NEW WORK. DEMOLITION PLANS ARE FOR GRAPHICAL INFORMATION ONLY AND MAY NOT INDICATE COMPLETE EXTENT OF DEMOLITION/REMOVAL REQUIRED TO PREPARE SPACE FOR INSTALLATION OF NEW WORK.
- AREAS OF DEMOLITION IDENTIFIED BY DASHED LINES.
- THE CONTRACTOR SHALL RETURN ALL SALVAGEABLE MATERIAL AND/OR EQUIPMENT NOTED TO BE REMOVED ON SHEET ALL TO THE OWNER. THE OWNER SHALL STORE SALVAGEABLE MATERIAL AND/OR EQUIPMENT AT THEIR DISCRETION. THE CONTRACTOR SHALL DISPOSE OF ALL NON-SALVAGEABLE MATERIALS IN ACCORDANCE WITH OWNER'S RECOMMENDATIONS AND LOCAL ZONING CODES. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DRAWINGS.
- ALL AREAS OF DEMOLITION SHALL BE PATCHED OR REPAIRED AS REQUIRED.
- COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION INCLUDING CEILINGS, LIGHTS, POWER, DATA, SPRINKLER HEADS, WALLS, DOORS, FRAMES, HARDWARE, FINISHES, CONCRETE SLABS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACINGS REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
- ANY ITEMS NOT NOTED TO BE DEMOLISHED, BUT REQUIRING REMOVAL IN ORDER TO ACCOMPLISH THE REQUIRED DEMOLITION WORK, SHALL BE REINSTALLED OR REPLACED IN KIND IN LOCATION DIRECTED BY OWNER UPON COMPLETION OF THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ANY AREAS DAMAGED BY THE DEMOLITION AND/OR CONSTRUCTION WORK SHALL BE REPAIRED AND/OR RECEIVE NEW SUBSTRATES, FINISHES, AND/OR MATERIALS TO MATCH THE EXISTING AFFECTED ITEMS. ANY REPAIR OR REPLACEMENT WORK SHALL BE PERFORMED TO A LEVEL OF QUALITY EQUAL TO THAT FOUND PRIOR TO BEGINNING WORK ON THIS PROJECT.
- THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS IS DIAGRAMMATIC, AND IN NO WAY ATTEMPTS TO SHOW ALL EXISTING FIXTURES, CONNECTIONS AND FITTINGS, AND OTHER MISCELLANEOUS ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING/COORDINATING ALL MISCELLANEOUS DEMOLITION AS REQUIRED DUE TO FIELD CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL THE CONTAINMENT OF DUST AND DEBRIS DURING THE DEMOLITION PERIOD AND SHALL OBTAIN ALL REQUIRED PERMITS AND COORDINATE WITH THE CITY OF ROCKVILLE BUILDING DEPARTMENT THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. DAILY SITE CLEANING WILL BE REQUIRED WITH ADDITIONAL CLEANING IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION.
- PRIOR TO BEGINNING DEMOLITION, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A DEMOLITION PLAN OUTLINING THE DESIRED PLACEMENT OF DUMPSTERS, DUST AND DEBRIS CONTROL MEASURES AND SCHEDULE OF ACTIVITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO EACH DEMOLITION ACTIVITY.
- PROVIDE TEMPORARY COVER OR PARTITIONS TO PROTECT EXIST. BUILDING DURING CONSTRUCTION FROM EXPOSURE TO AND DAMAGE FROM THE ELEMENTS.
- EXISTING FINISHES SPECIFICALLY NOT CALLED OUT TO BE REMOVED ARE TO REMAIN (PAINT, FLOORING, ETC.). PREPARE EXISTING SURFACES FOR APPLICATION OF NEW FINISHES AS REQUIRED BY MANUFACTURER RECOMMENDATIONS.
- SEE MECHANICAL, PLUMBING, & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

NEW WORK KEYNOTES:

- INSTALL NEW STAINLESS STEEL ELEVATOR DOOR JAMB WRAP OVER EXISTING METAL ELEVATOR ENTRANCE FRAME. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. PROVIDE SEALANT AT ALL INTERSECTIONS WITH DISSIMILAR MATERIALS.
- PATCH AND REPAIR EXISTING WALL WHERE EXISTING EQUIPMENT (I.E. CALL BUTTON, INDICATOR LIGHT, ETC.) HAS BEEN REMOVED. REPAIR WORK TO MATCH EXISTING SURROUNDING MATERIALS IN ALL ASPECTS, COLOR, MATERIAL, TEXTURE, ETC. REPAIR SHALL BE INDISTINGUISHABLE FROM ADJACENT SURFACE FROM A DISTANCE OF 5'-0".
- NEW DOOR PANELS, SEE SPECIFICATION SECTIONS FOR EXTENT OF NEW ELEVATOR DOOR WORK.
- PROVIDE NEW FINISHES WITHIN THE ELEVATOR CAB, INCLUDING BUT NOT LIMITED TO, FLOORING, CEILING, AND WALL FINISHES. INSTALL NEW ELEVATOR CAB ACCESSORIES, GRAB RAILS, LIGHTING, COMMUNICATION EQUIPMENT, AND CONTROLS PER SPECIFICATIONS.
- INSTALL NEW TRACTION ELEVATOR MACHINE ROOM EQUIPMENT, INCLUDING BUT NOT LIMITED TO, MOTION CONTROLLERS, DRIVE MACHINES, SHEAVES, MOTORS, GOVERNORS, MIRROR, ETC. PER SPECIFICATION.
- INSTALL NEW CORRIDOR CONTROL EQUIPMENT, I.E. CALL BUTTON, CALL LIGHT, FLOOR INDICATOR LAMP, DIRECTIONAL ARROW, ETC. INSTALL LOCATIONS PER ADA GUIDELINES. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHTS AND DETAILS.
- INSTALL NEW 90 MINUTE FIRE RATED HOLLOW METAL FLUSH DOOR, FRAME, AND HARDWARE. SEE SPECIFICATIONS FOR ALL INFORMATION REGARDING DOOR TYPE AND HARDWARE. (3'-0" x 6'-0" DOOR MATCH EXISTING FIELD VERIFY)
- INSTALL NEW RATED INFILL WALL TO MATCH EXISTING IN ALL ASPECTS.
- INSTALL NEW SPLIT SYSTEM EVAPORATOR AND CONDENSING UNIT, ON NEW 4" CONCRETE HOUSEKEEPING PAD. SEE MECHANICAL DRAWINGS FOR INFORMATION AND CONDENSING UNIT LOCATION.
- REPLACE EXISTING STL. PIT LADDER AS REQUIRED TO FULLY COMPLY WITH CURRENT CODES INCLUDING: GRAB BARS 48" ABOVE SILL, RUNGS AT LEAST 12" WIDE, AND A RUNG ADJACENT TO FLUSH WITH ENTRANCE SILL.

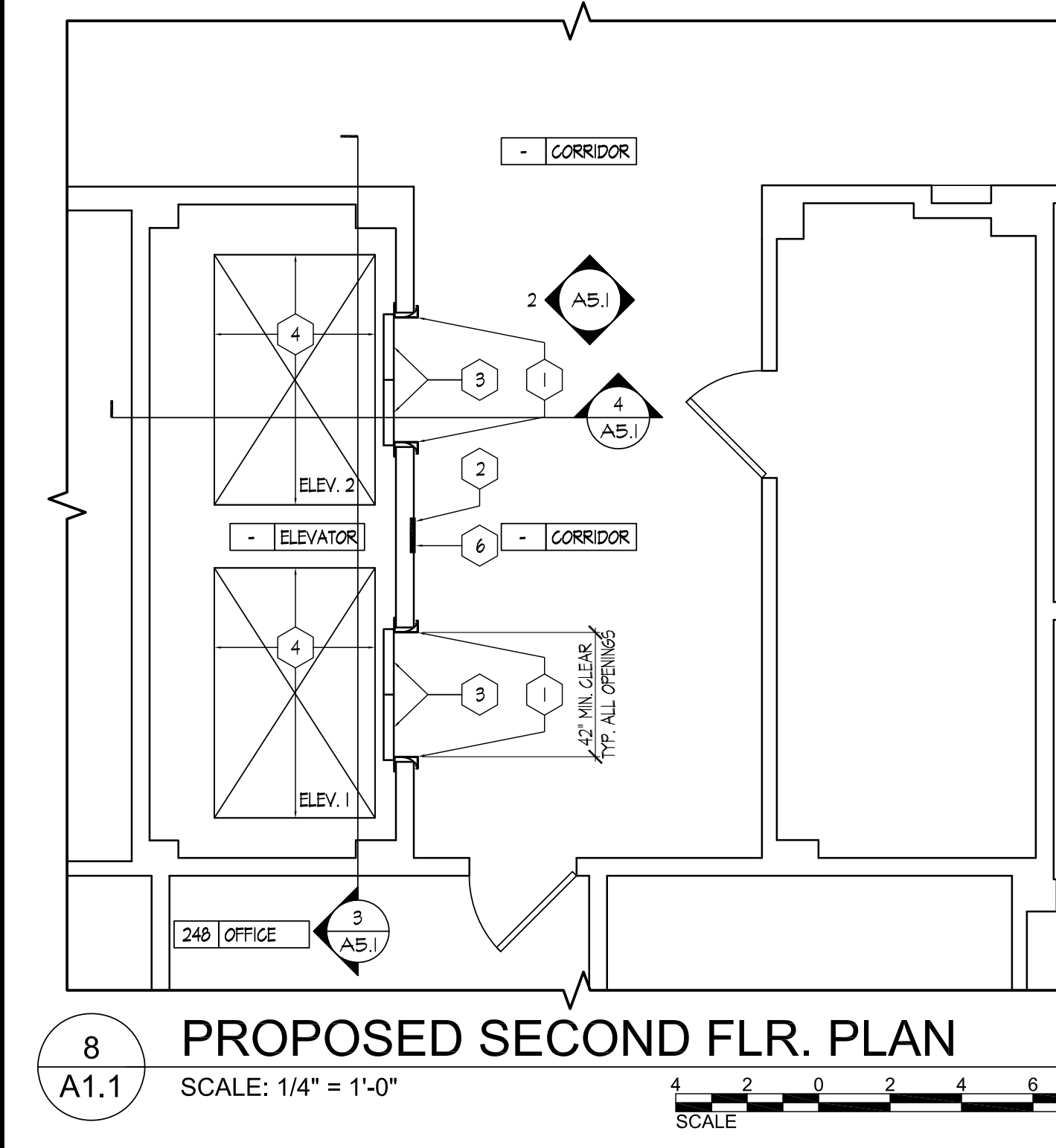
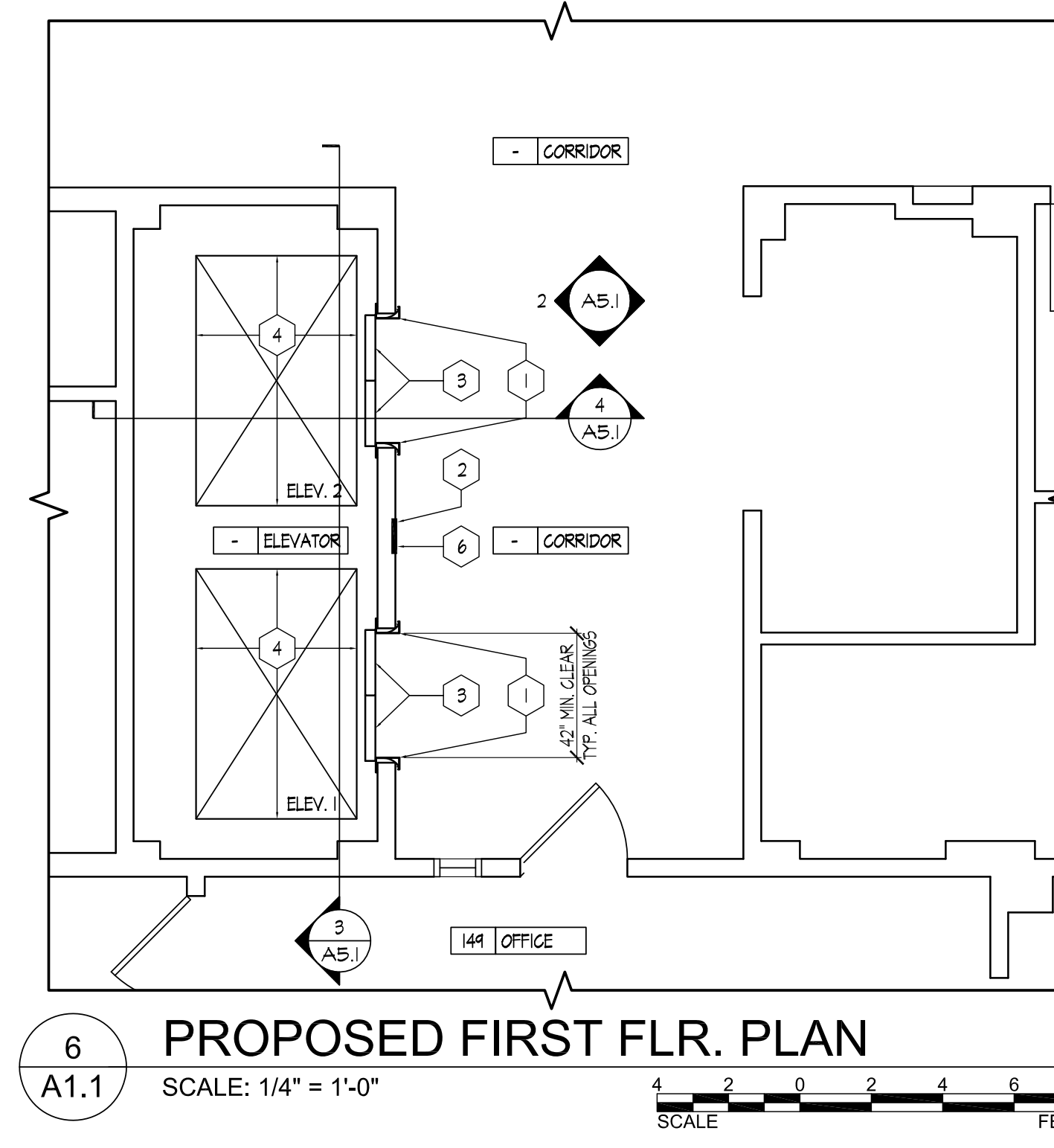
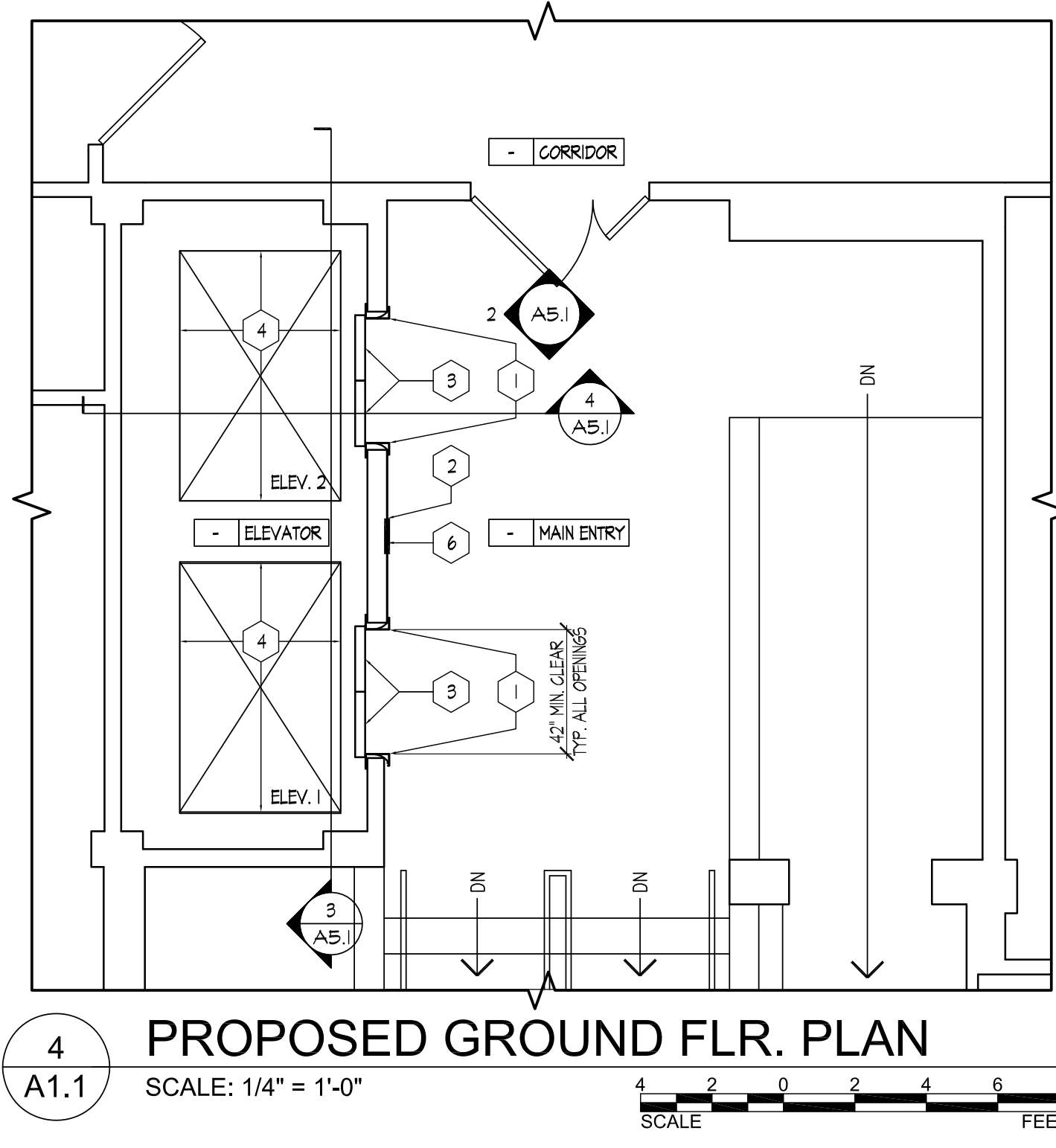
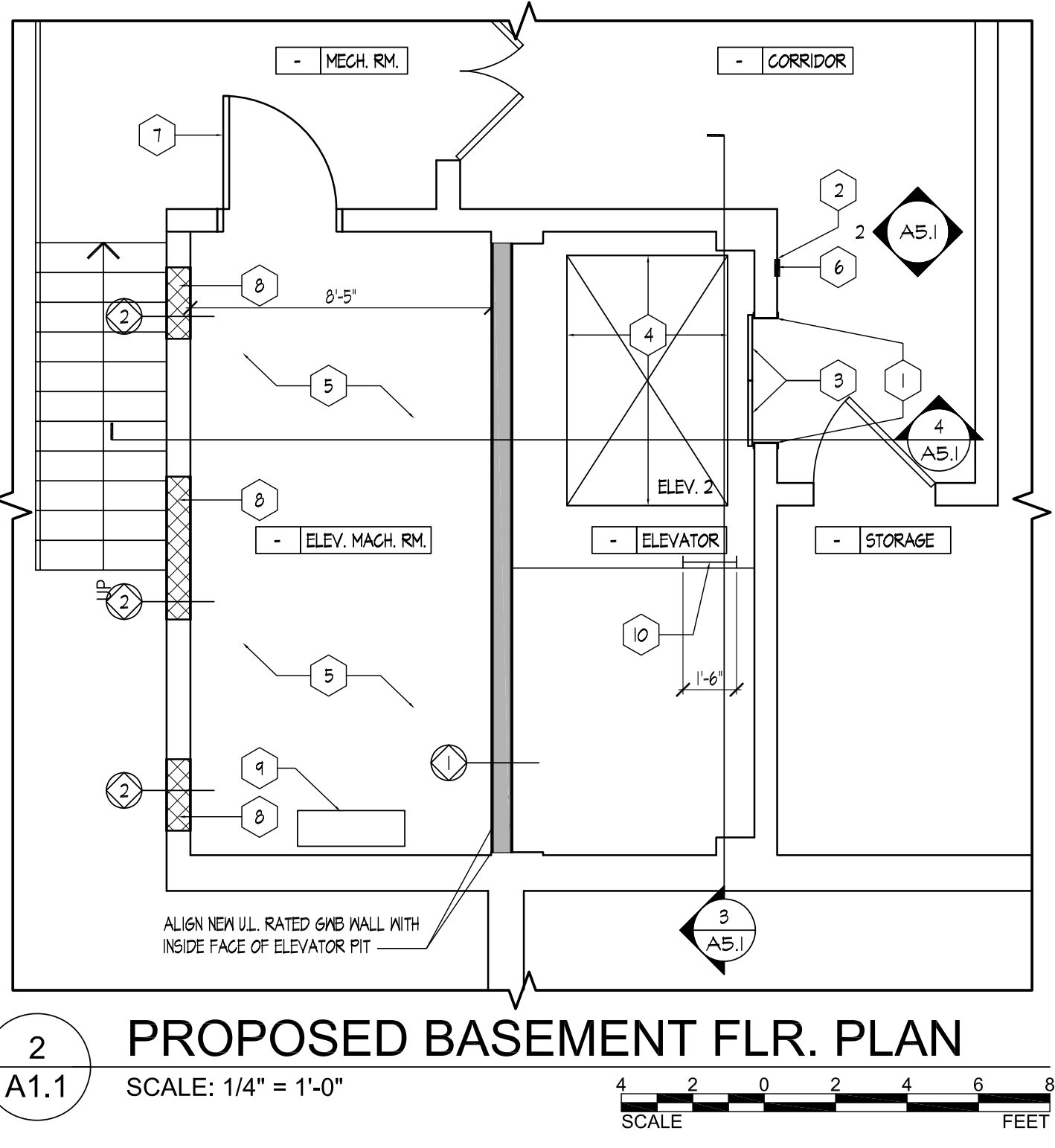
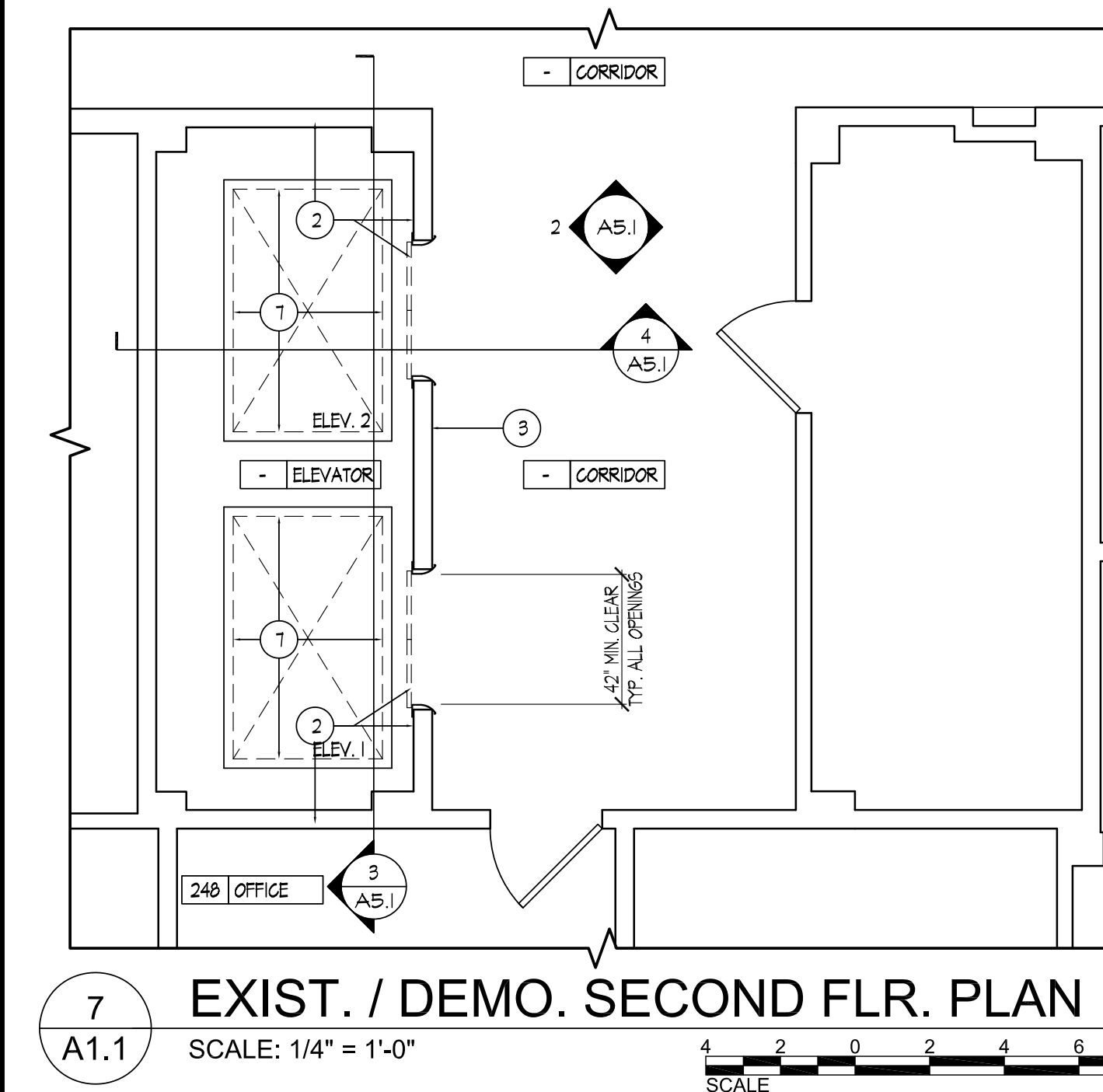
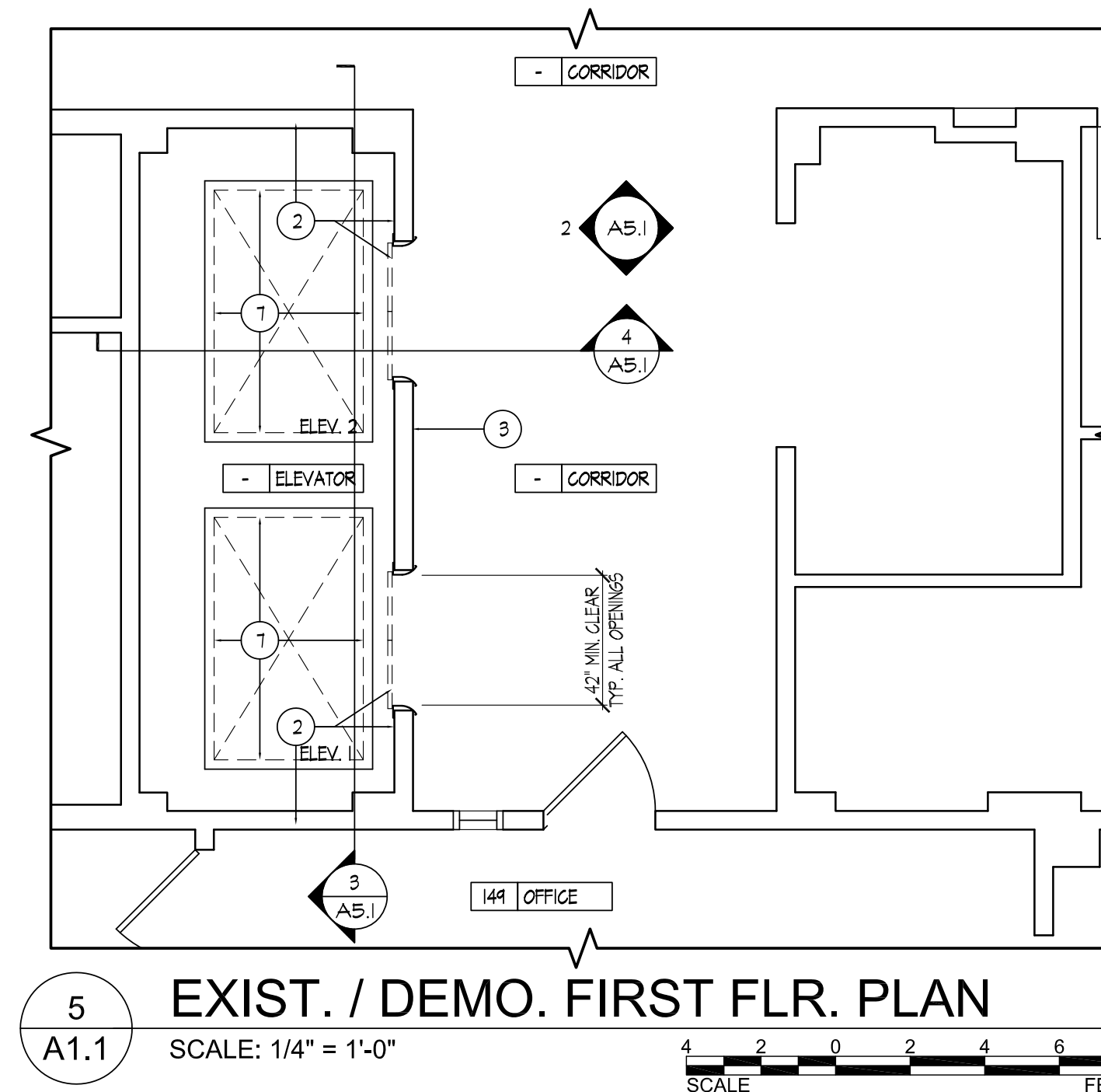
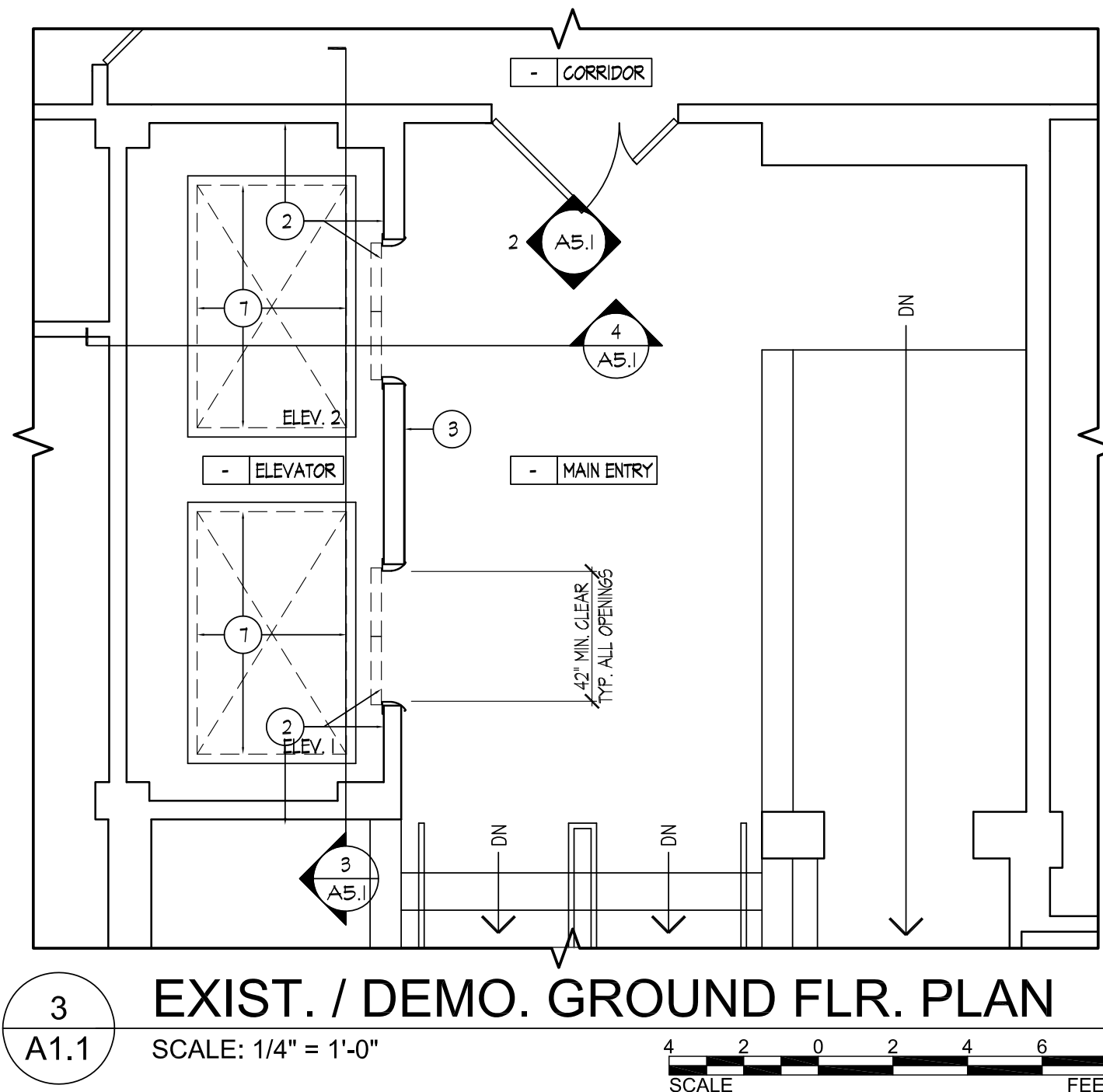
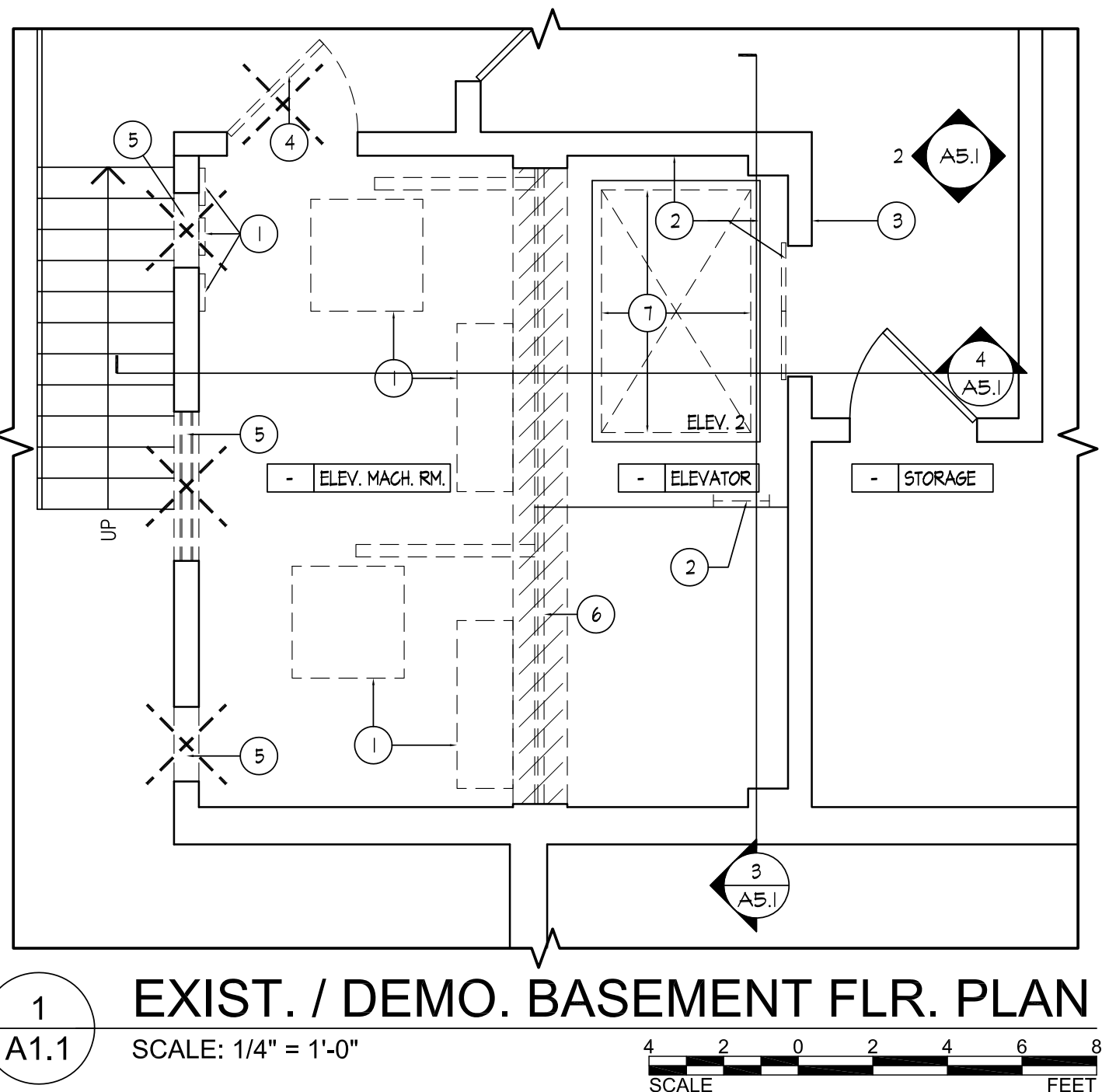
NEW WORK LEGEND:



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 EXPIRATION DATE 08-07-2020

BUILDING KEY PLAN: (NTS)

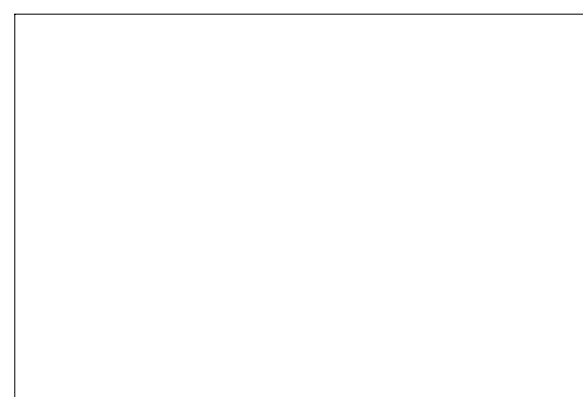


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 MONTGOMERY COUNTY PUBLIC SCHOOLS
 850 HUNGERFORD DRIVE
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ISSUE		
REV	DATE	DESCRIPTION

PROJECT NO.: 18-12.07
 DATE: 10-11-2019
 EXISTING / DEMOLITION & PROPOSED FLOOR PLANS
A1.1

CONSTRUCTION DOCUMENTS



GENERAL NOTES: (MECHANICAL)

GENERAL NOTES AND CONDITIONS:

- A. COORDINATE NEW WORK BETWEEN ALL DISCIPLINES.
- B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- C. THE INTENT OF THESE DRAWINGS IS FOR THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIAL, FINISHES, EQUIPMENT, INSTALLATION, AND SERVICES NECESSARY FOR AND INCIDENTAL WITH THE WORK, TO PROVIDE THE OWNER WITH A COMPLETE PROJECT INCLUSIVE OF ALL SYSTEMS.
- D. PRIOR TO INITIATING ANY PORTION OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL PORTIONS OF THE CONTRACT DOCUMENTS RELATING TO THAT PORTION OF THE WORK AND AFFECTING ADJOINING PORTIONS. IF DISCREPANCIES EXIST, THEY SHALL BE REPORTED TO THE CONSTRUCTION MANAGER FOR CLARIFICATION AND/OR RESOLUTION BEFORE COMMENCING SUCH WORK.
- E. BY SUBMITTING A BID PROPOSAL THE CONTRACTOR CERTIFIES THAT THEY HAVE VISITED THE SITE AND UNDERSTAND THE COMPLETE SCOPE OF WORK, WHICH IS INCLUDED IN THE PROPOSAL.
- F. DEFINITIONS: "PROVIDE" MEANS "FURNISH AND INSTALL". "VERIFY" MEANS "VERIFY IN THE FIELD AND COORDINATE DIMENSIONS AND DISCREPANCIES".
- G. THESE NOTES AND OTHER NOTES ON THE DRAWINGS ARE DIRECTIONS FOR THE CONTRACTOR'S PERFORMANCE, UNLESS NOTED OTHERWISE (U.N.O.). FOR EXAMPLE, THE VERB "INSTALL" MEANS "CONTRACTOR SHALL INSTALL", "RELOCATE" MEANS "CONTRACTOR SHALL RELOCATE", ETC.
- H. UNLESS NOTED OTHERWISE, NUMBERED DIMENSIONS SHOWN ON DRAWINGS TAKE PRECEDENCE OVER SCALED DRAWINGS. DETAIL DRAWINGS TAKE PRECEDENCE OVER GENERAL DRAWINGS. IF CONFLICTS EXIST ON THE DRAWINGS, THEN THE MORE STRINGENT REQUIREMENT SHALL APPLY. FINAL INTERPRETATION SHALL BE MADE BY THE ENGINEER.
- I. SAMPLES AND SHOP DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE CONSTRUCTION MANAGER FOR REVIEW AND PROCESSING BEFORE THE PURCHASE OR FABRICATION OF ANY MATERIALS.
- J. DURING THE WORK, ANY CONDITION DISCOVERED THAT CAUSES CONFLICT WITH THE INTENDED DESIGN MUST BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- K. CONTRACTOR SHALL STAGE WORK IN SUCH A WAY AT TO ENSURE SAFE EMERGENCY EGRESS AT ALL TIMES.
- L. EXCEPT FOR PREFINISHED SURFACES, ALL ITEMS DISTURBED OR DAMAGED BY WORK SHALL BE REFINISHED TO MATCH SURROUNDING AREA OR FINISHED AS INDICATED.
- M. ALL HOLED AND PENETRATIONS IN WALLS AND CEILING SURFACES SHALL BE PATCHED AND FIRE STOPPED.
- N. ANY ALTERATION TO THE STRUCTURE (I.E. CORE DRILLING CONCRETE, ETC.) SHALL BE COORDINATED.
- O. UNLESS OTHERWISE INDICATED, ALL PIPING, CONDUIT, DUCTWORK, AND SIMILAR SERVICES SHALL BE CONCEALED.
- P. GENERAL NOTES, THOSE FOUND ON THIS SHEET, APPLY TO ALL DRAWINGS RELATED TO THIS PROJECT.
- Q. DRAWING NOTES SPECIFICALLY REFER TO ITEMS NOTED WITH NUMBER OR LETTER DESIGNATIONS ON THE RESPECTIVE DRAWING WHERE THE DESIGNATIONS ARE SHOWN.

GENERAL CONSTRUCTION NOTES:

- A. LEAVE SPACE CLEAN ON COMPLETION, INCLUDING THE CLEANING OF GLASS, DOORS, FRAMES, FLOORS, GRILLES, LIGHT LENSES, ETC.
- B. REFER TO STRUCTURAL DRAWINGS FOR TYPICAL PENETRATION/OPENING/INFILL DETAILS.

MECHANICAL LEGEND					
SYMBOL	ABBREV.	DEFINITION	SYMBOL	ABBREV.	DEFINITION
[Symbol]	SA	SUPPLY AIR DUCT UP, DOWN	Ø	DIA	DIAMETER
[Symbol]	RA	RETURN AIR DUCT UP, DOWN	FOT	FLAT ON TOP	
[Symbol]	EA	EXHAUST AIR DUCT UP, DOWN	FOB	FLAT ON BOTTOM	
[Symbol]	OA	OUTSIDE AIR DUCT UP, DOWN	AFFP	AIRFOIL PLENUM FAN	
[Symbol]		RECT. TO ROUND TRANSITION	DL	DOOR LOUVER	
[Symbol]		FLEXIBLE CONNECTION (DUCTWORK)	AP	ACCESS PANEL	
[Symbol]		FLEXIBLE DUCT	HP	HIGH PRESSURE STEAM	
[Symbol]	VD	MANUAL VOLUME DAMPER	LPS	LOW PRESSURE STEAM	
[Symbol]	FD	FIRE DAMPER	SC	STEAM CONDENSATE	
[Symbol]	HR	HEATING RETURN	HS(P)	HEATING SUPPLY (PRIMARY)	
[Symbol]	MOD	MOTOR OPERATED DAMPER	HR(P)	HEATING RETURN (PRIMARY)	
[Symbol]	SD	SMOKE DAMPER	HS(S)	HEATING SUPPLY (SECONDARY)	
[Symbol]	CD	COMBINATION FIRE/SMOKE DAMPER	HR(S)	HEATING RETURN (SECONDARY)	
[Symbol]	AMS	AIR MONITORING STATION	HS	HEATING SUPPLY	
[Symbol]	SA	SOUND ATTENUATOR	HR	HEATING RETURN	
[Symbol]	DD	DUCT SMOKE DETECTOR	CS	CONDENSER WATER SUPPLY	
[Symbol]		ELBOW W/ TURNING VANES	CR	CONDENSER WATER RETURN	
[Symbol]		RADIUS ELBOW	HPWS	HEAT PUMP WATER SUPPLY	
[Symbol]	FPTU	FAN POWERED VAV BOX W/ HEAT COIL	HPWR	HEAT PUMP WATER RETURN	
[Symbol]	SL	ACOUSTICAL SOUND LINING	CW	COLD WATER	
[Symbol]		DUCT TRANSITION	CD/COND	CONDENSATE DRAIN LINE	
[Symbol]		CHANGE IN ELEVATION RISE(D), DROP(D)	RL	REFRIGERANT LIQUIT	
[Symbol]		POWER ROOF VENTILATOR	RS	REFRIGERANT SUCTION	
[Symbol]		GATE VALVE	F&T	FLOAT AND THERMOSTATIC TRAP	
[Symbol]		GLOBE VALVE	BTU	BRITISH THERMAL UNIT	
[Symbol]		BALL VALVE	MBH	BTU PER HOUR (THOUSAND)	
[Symbol]		MULTI-PURPOSE VALVE	SENS.	SENSIBLE	
[Symbol]		CHECK VALVE	WG	WATER GAUGE	
[Symbol]		BUTTERFLY VALVE	VEL	VELOCITY	
[Symbol]		3-WAY MODULATING VALVE (ATC)	FFM	FEET PER MINUTE	
[Symbol]		2-WAY MODULATING VALVE (ATC)	LF	LINEAR FOOT	
[Symbol]	PRV	PRESSURE REDUCING VALVE	KW	KILOWATT	
[Symbol]		NEEDLE VALVE	MIN	MINIMUM	
[Symbol]		PRESSURE RELIEF OR SAFETY VALVE	MAX	MAXIMUM	
[Symbol]	HED	HOSE END DRAIN VALVE	NC	NOISE CRITERIA	
[Symbol]		STRAINER W/HOSE END DRAIN VALVE & OVP	DB	DECIBEL	
[Symbol]		AUTOMATIC AIR VENT	EMS	ENERGY MANAGEMENT SYSTEM	
[Symbol]		FLOW METER FITTING	SAF	SUPPLY AIR FAN	
[Symbol]		COMBINATION SHUT-OFF/BALANCING VALVE	OAF	OUTSIDE AIR FAN	
[Symbol]		UNION	RAF	RETURN AIR FAN	
[Symbol]		FLANGE	EAF	EXHAUST AIR FAN	
[Symbol]		CONCENTRIC REDUCER	LBS	POUNDS	
[Symbol]		ECCENTRIC REDUCER	TEMP	TEMPERATURE	
[Symbol]		FLEXIBLE CONNECTION (PIPING)	EXH	EXHAUST	
[Symbol]		MANUAL AIR VENT	OC	ON CENTER	
[Symbol]		THERMOMETER	TONS	TONS OF REFRIGERATION	
[Symbol]		PRESSURE GAUGE W/NEEDLE VALVE	SQ	SQUARE	
[Symbol]		TEMPERATURE SENSOR (NIGHT SETBACK)	OAT	OUTSIDE AIR TEMPERATURE	
[Symbol]	T'STAT	THERMOSTAT	STD	STANDARD	
[Symbol]		FAN SWITCH	ΔT	TEMPERATURE DIFFERENCE	
[Symbol]		STATIC PRESSURE GAUGE	%	PERCENT	
[Symbol]	DP	DIFFERENTIAL PRESSURE CONTROLLER	EFF.	EFFICIENCY	
[Symbol]	DPT	DIFFERENTIAL PRESSURE TRANSMITTER	ELECT. CHAR.	ELECTRICAL CHARACTERISTICS	
[Symbol]	DPS	DEWPOINT SENSOR	CAP	CAPACITY	
[Symbol]	AFC	AUTOMATIC FLOW CONTROL VALVE	SB	STAND-BY	
[Symbol]	FS	FLOW SWITCH	FT, H ₂ O	FEET WATER GAUGE	
[Symbol]		STATIC PRESSURE CONTROLLER	IN. H ₂ O	INCHES WATER GAUGE	
[Symbol]		PIPE ALIGNMENT GUIDE	ATC	AUTOMATIC TEMPERATURE CONTROL	
[Symbol]		PIPE ANCHOR	EX	EXISTING	
[Symbol]		EXPANSION LOOP	EX	EXISTING	
[Symbol]		UNIT HEATER	RX	CONNECT TO EXISTING	
[Symbol]		PITCH OF PIPE, % SLOPE		DEMOLITION ENDS HERE	
[Symbol]		PIPE-TURN DOWN	VSD	VARIABLE SPEED DRIVE	
[Symbol]		PIPE-TURN UP	°F	DEGREES FAHRENHEIT	
[Symbol]		SOLENOID VALVE	CFM	CUBIC FEET PER MINUTE	
[Symbol]		END CAP	GPM	GALLONS PER MINUTE	
[Symbol]		BLIND FLANGE	EAT	ENTERING AIR TEMPERATURE	
[Symbol]		DIRECTION OF FLOW	LAT	LEAVING AIR TEMPERATURE	
			EW	ENTERING WATER TEMPERATURE	
			LWT	LEAVING WATER TEMPERATURE	
			DB	DRY BULB	
			WB	WET BULB	
			PD	PRESSURE DROP	
			WPD	WATER PRESSURE DROP	
			APD	AIR PRESSURE DROP	
			SP	STATIC PRESSURE	
			ESP	EXTERNAL STATIC PRESSURE	
			PSI	POUNDS PER SQUARE INCH	
			HP	HORSEPOWER	
			BHP	BRAKE HORSEPOWER	
			RFM	REVOLUTIONS PER MINUTE	
			FFM	FEET PER MINUTE	
			V	VOLTS	
			Hz	HERTZ	
			DIFF	DIFFUSER	
			REG	REGISTER	
			AFF	ABOVE FINISHED FLOOR	
			W/	WITH	
			FO	FLAT OVAL	
			SS	STAINLESS STEEL	
			HT.	HEIGHT	
			REQ'D	REQUIRED	
			DWG	DRAWING	
			No.	NUMBER	
			VAV	VARIABLE AIR VOLUME	
			EF	EXHAUST FAN	
			FZ	FREZZE STAT	
			SD	SMOKE DAMPER	
			SPC	STATIC PRESSURE CONTROLLER	
			AHU	AIR HANDLING UNIT	
			OAT	OUTSIDE AIR TEMPERATURE	
			SWT	SUPPLY WATER TEMPERATURE	
			NO	NORMALLY OPEN	
			NC	NORMALLY CLOSED	
			C	CLOSED	

NOTE: NOT ALL SYMBOLS AND ABBREVIATIONS MAY BE USED



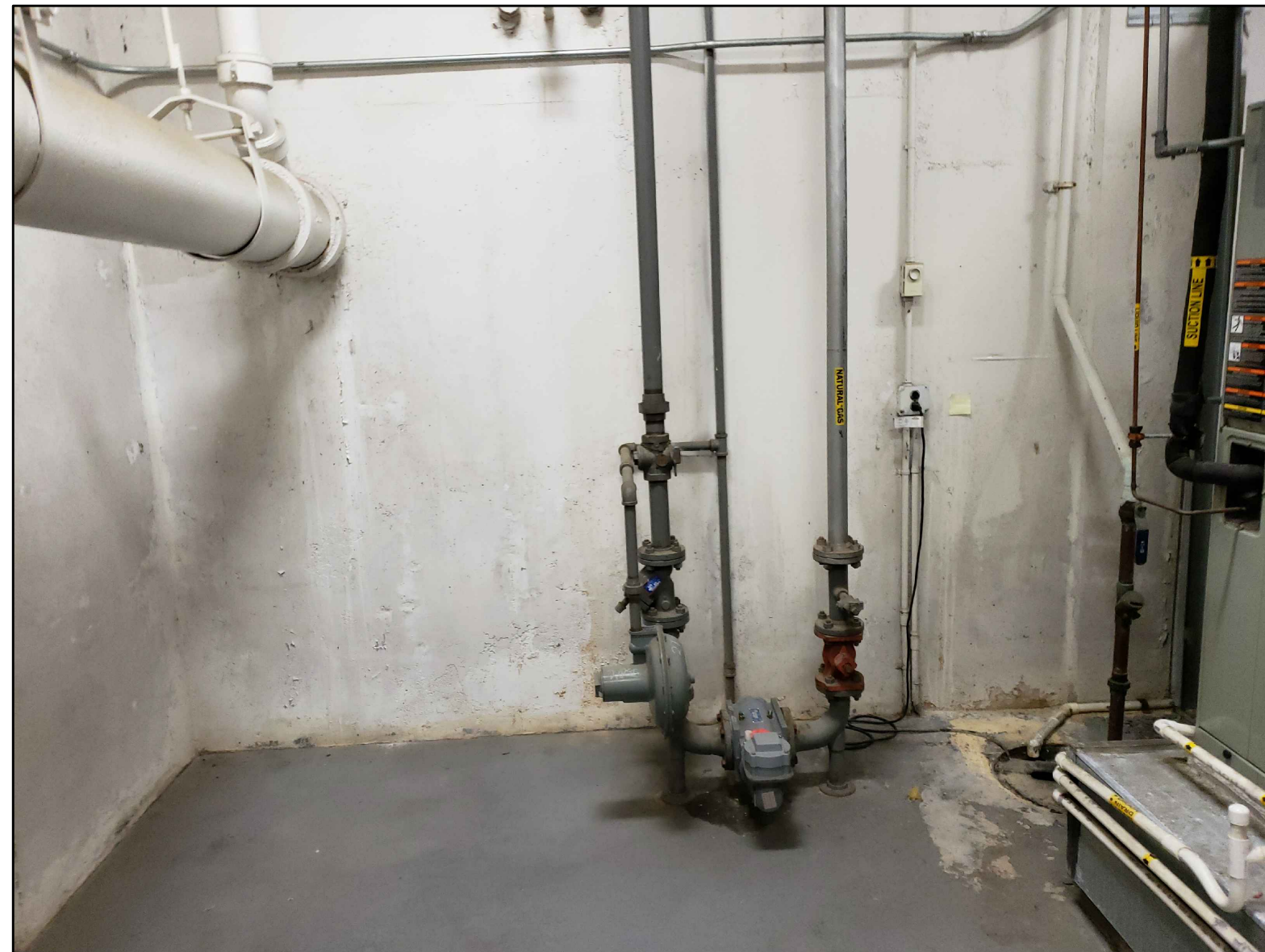
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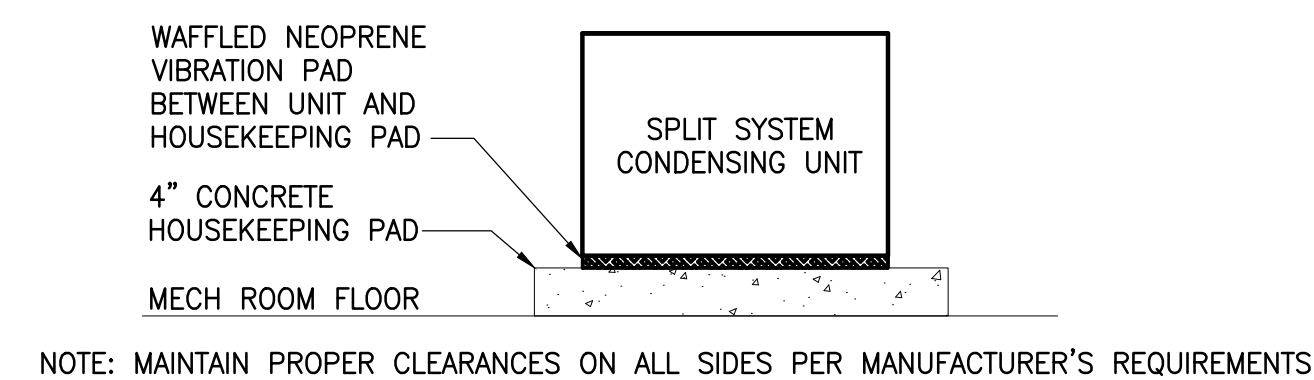
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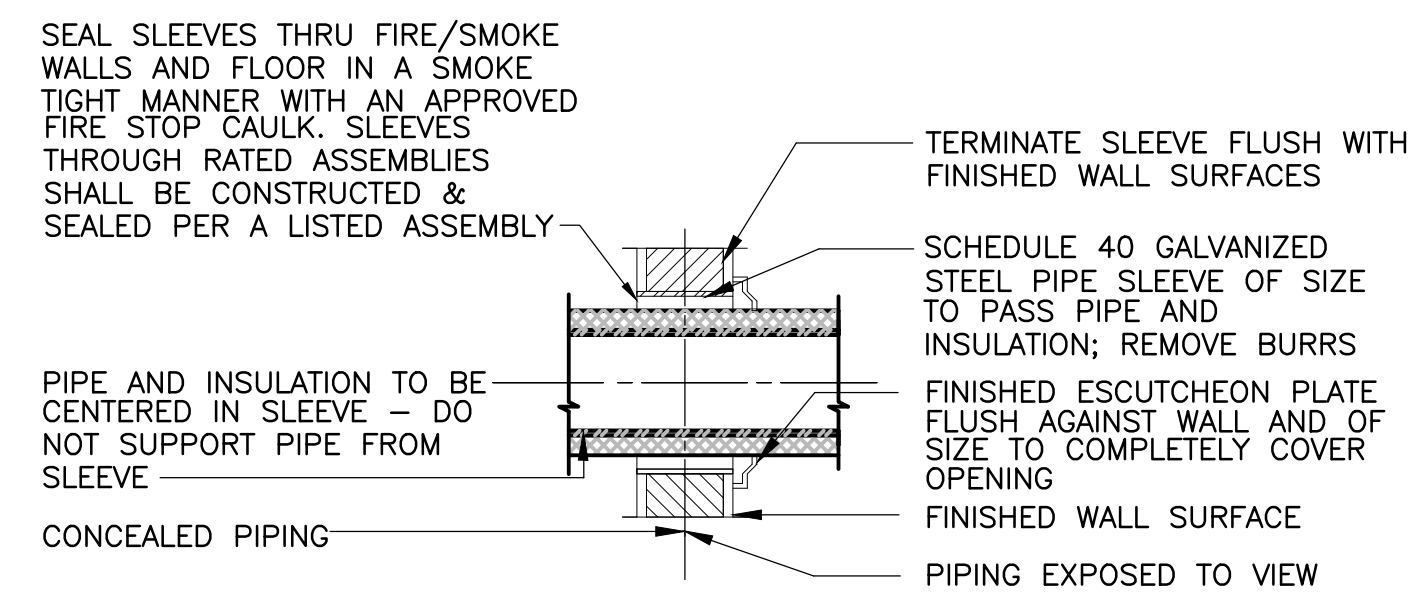
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DATE: 10-11-2019



1
M1.1
PHOTO - MECHANICAL ROOM

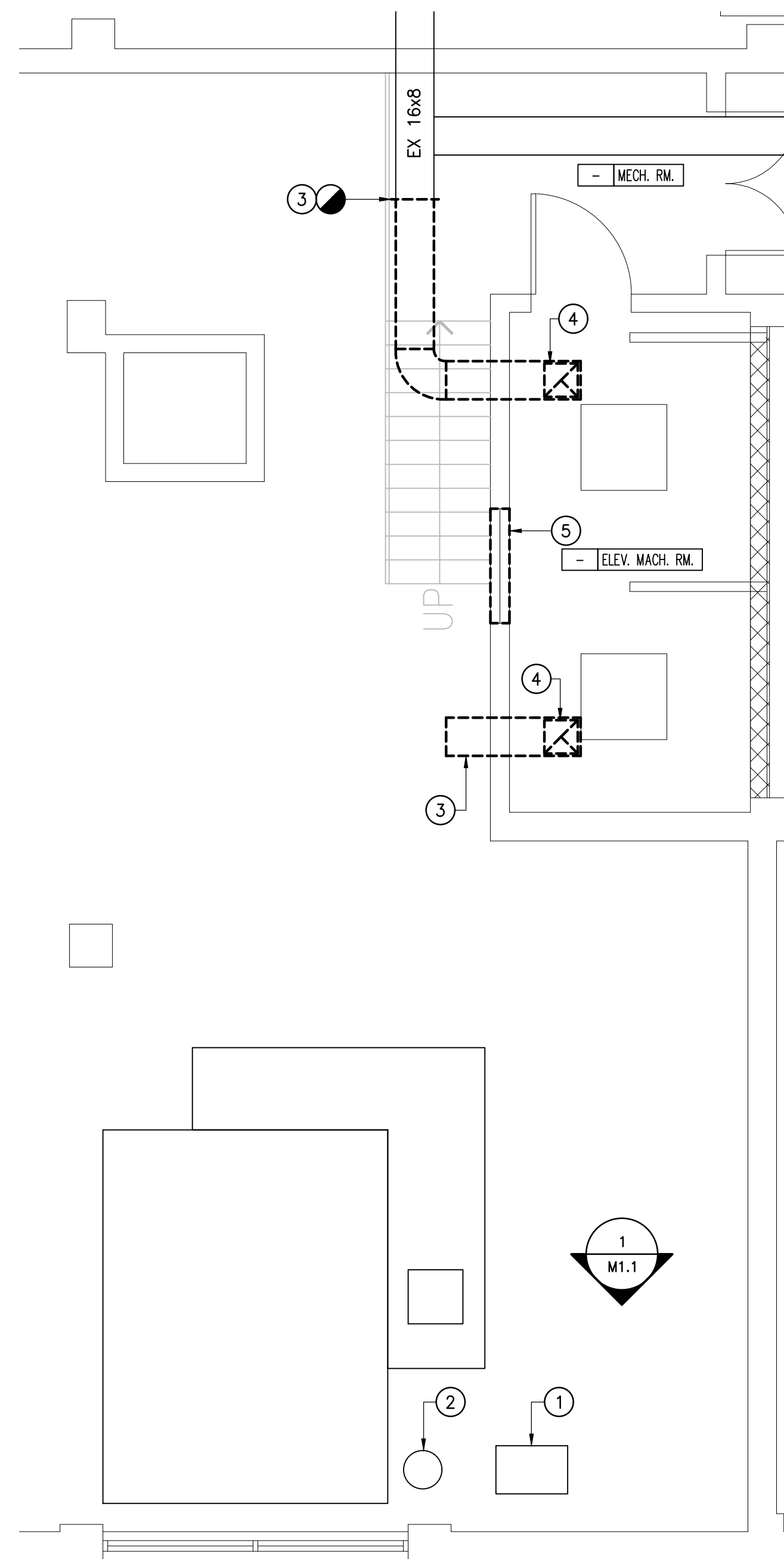


SPLIT SYSTEM CONDENSING UNIT DETAIL

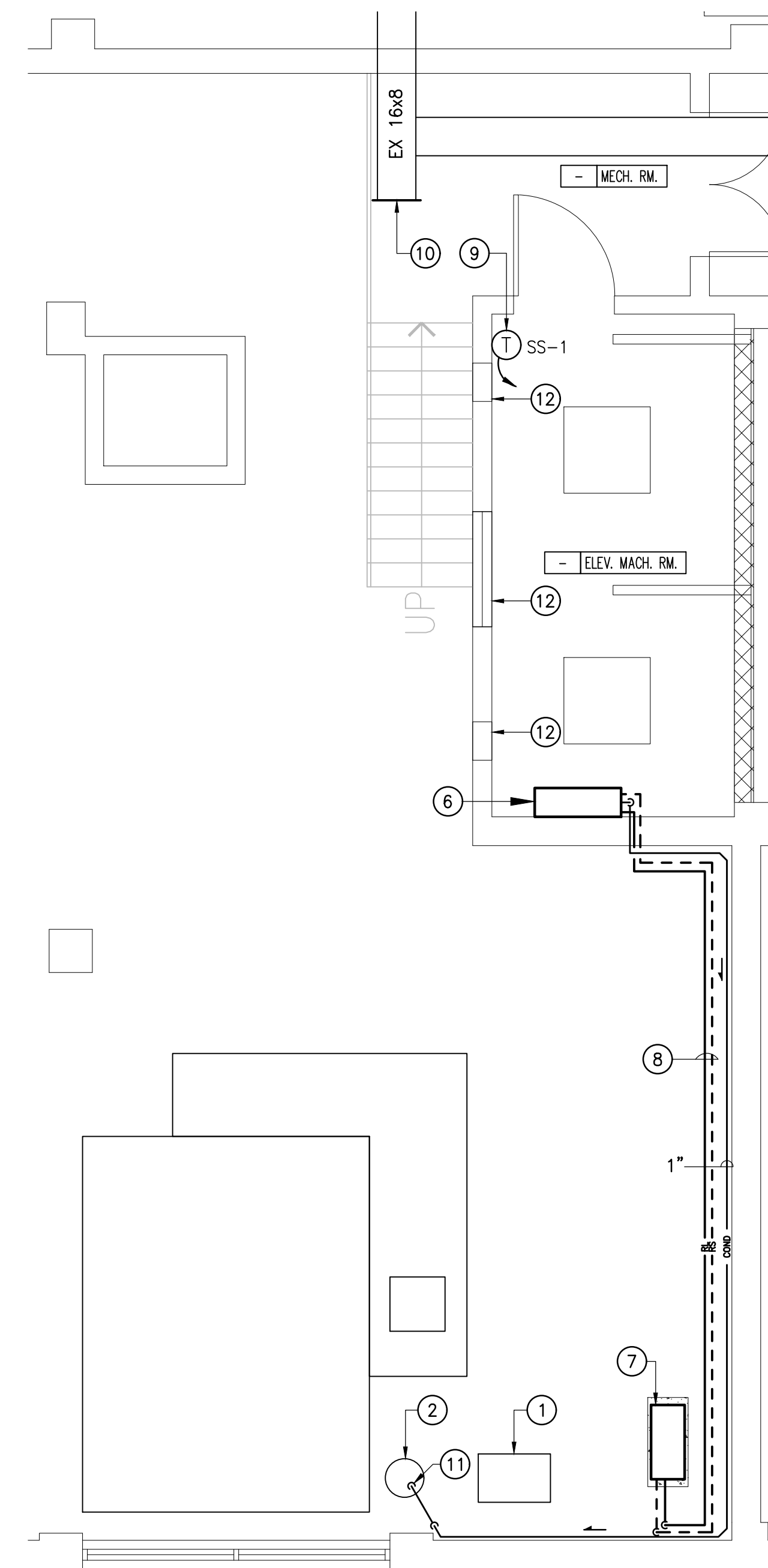


NOTE: FOR INTERIOR FRAME PARTITIONS-PIPE SLEEVES MAY BE FABRICATED FROM GALVANIZED SHEET METAL; ROUND TUBE CLOSED WITH SNAPLOCK JOINT, WELDED SPIRAL SEAMS, OR WELDED LONGITUDINAL JOINT. FABRICATE FROM THE FOLLOWING GAUGES: 3" AND SMALLER, 20 GAUGE; 4" TO 6", 16 GAUGE; OVER 6", 14 GAUGE.

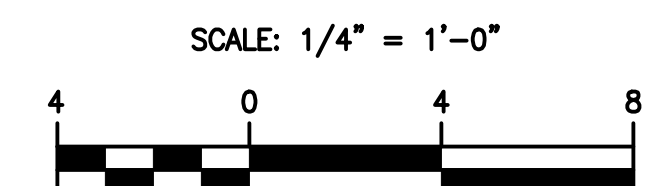
TYPICAL PIPE SLEEVE THRU INTERNAL WALL DETAIL



BASEMENT FLOOR MECH ROOM & ELEV MACHINE ROOM - DEMOLITION
SCALE: 1/4" = 1'-0"



BASEMENT FLOOR MECH ROOM & ELEV MACHINE ROOM
SCALE: 1/4" = 1'-0"



DRAWING NOTES:

- 1 EXISTING NATURAL GAS METER TO REMAIN.
- 2 EXISTING SUMP PUMP & PIT TO REMAIN.
- 3 REMOVE EXISTING DUCTWORK AND ASSOCIATED HANGERS ETC TO EXTENT SHOWN.
- 4 REMOVE EXISTING E/A GRILLE AND ASSOCIATED DUCTWORK ETC.
- 5 REMOVE EXISTING TRANSFER AIR LOUVER IN WALL.
- 6 SS-1 (EVAPORATOR)
425 CFM, 18,000 BTU/H COOLING CAPACITY
80°F DB EAT, 67°F WB EAT
36"x12"x10", 29 LBS
BASED ON MITSUBISHI MODEL PKA-A18HA6
- 7 SS-1 (CONDENSER, IN MECH ROOM)
95°F DB EAT
31"x14"x24", 100 LBS
208V/14/60Hz, 15A MOCp, 13A MCA
BASED ON MITSUBISHI MODEL PUY-A18NH46
INSTALL ON 4" CONCRETE PAD
- 8 RS, RL PIPING RACKED ALONG WALL IN VERTICAL.
- 9 SPLIT SYSTEM HARD WIRED THERMOSTAT
- 10 CAP EXISTING DUCT
- 11 DISCHARGE CONDENSATE FROM SPLIT SYSTEM TO EXISTING SUMP PUMP PIT.
- 12 REPAIR WALL WITH LIKE MATERIALS AND FINISHES.



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ISSUE		
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PROJECT NO.: 18-12-07
DATE: 10-11-2019
MECHANICAL PART
PLAN - NEW WORK
& DEMOLITION

M1.1

ELECTRICAL LEGEND:

(MOUNTING HEIGHTS ARE TO CENTERLINE OF DEVICE UON)

GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE DRAWINGS OF ALL OTHER TRADES ON THE PROJECT. ELECTRICAL OR SYSTEMS CONNECTIONS INDICATED ON ARCHITECTURAL, MECHANICAL, CIVIL, STRUCTURAL, KITCHEN AND ALL OTHER DRAWINGS WHICH ARE PART OF THIS PROJECT, SHALL BE CONSIDERED A PART OF THIS CONTRACT AND SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE AND AS SUCH SHALL NOT BE SCALED. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DEVICES AND EQUIPMENT AND DIMENSIONAL INFORMATION PRIOR TO ROUGH-IN. COORDINATE LOCATIONS OF MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN OF SERVICE EQUIPMENT AND WIRING.
- COORDINATE MOUNTING HEIGHTS OF ALL DEVICES WITH ARCHITECTURAL PLANS, SECTIONS, ELEVATIONS AND CASEWORK DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT ROUTING OF WIRING AND CONDUITS AND SHALL BE RESPONSIBLE FOR SIZING ALL BRANCH CIRCUIT WIRING TO LIMIT VOLTAGE DROP TO 3%. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE WIRING PER NEC. 20 AMPERE CIRCUITS SHALL BE SIZED AS FOLLOWS:

20 AMPERE CIRCUITS				
120 VOLT		277 VOLT		MINIMUM CONDUIT SIZE
WIRING LENGTH	WIRE SIZE	WIRING LENGTH	WIRE SIZE	
0' - 60'	#12	0' - 130'	#12	3/4"
60' - 100'	#10	130' - 210'	#10	3/4"
100' - 150'	#8	210' - 340'	#8	3/4"
150' - 240'	#6	340' - 540'	#6	3/4"
OVER 240'	#4	OVER 540'	#4	1"

NOTES:
BRANCH CIRCUITS IN PANELBOARDS WITH 200% RATED NEUTRAL BUS AND ALL DIMMED LIGHTING CIRCUITS & ECM MOTORS SHALL HAVE DEDICATED NEUTRAL CONDUCTORS.

WIRING AND CONDUIT SIZES INDICATED IN PANEL SCHEDULES ARE MINIMUM ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT WIRING AND CONDUIT SIZES. CONTRACTOR SHALL PROVIDE SPLICE BLOCKS AND REDUCING PINS AS REQUIRED TO TERMINATE WIRING AND MAKE FINAL CONNECTIONS.

- ELECTRICAL BOXES IN FIRE RATED PARTITIONS SHALL NOT EXCEED 16 SQUARE INCHES IN AREA (IF 4"x4"), SHALL BE MADE OF STEEL, AND SHALL BE SUCH THAT THE CUMULATIVE AREA OF BOX "CUTOUTS" IN THE FIREWALL DOES NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. ELECTRICAL BOXES ON OPPOSITE SIDES OF THE SAME FIREWALL SHALL BE SEPARATED BY A HORIZONTAL AND VERTICAL DISTANCE OF NOT LESS THAN 24 INCHES. THE ELECTRICAL CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS, AS NECESSARY, TO ELECTRICAL BOX LOCATIONS TO ENSURE COMPLIANCE WITH THIS REQUIREMENT SINCE BOX LOCATIONS ARE TYPICALLY NOT DIMENSIONED ON THE DRAWINGS. CONSULT ARCHITECT IF CLARIFICATION IS REQUIRED.
- NEW WALLS ARE SHADED ON THE FLOOR PLANS, EXISTING WALLS ARE NOT SHADED. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MOUNTING OF DEVICES WITH WALL TYPE.

DEMOLITION NOTES:

- DEMOLITION DRAWING IS DIAGRAMMATIC IN NATURE. NO ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING ELECTRICAL WORK IN AREAS INDICATED TO BE RENOVATED. ALL EXISTING ELECTRICAL WORK IS TO BE REMOVED UNLESS OTHERWISE NOTED. WHEN AN ITEM IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED ELECTRICAL WORK BACK TO POINT OF SOURCE. CONTRACTOR TO VISIT SITE TO SURVEY EXISTING CONDITIONS PRIOR TO BID.
- WHERE WORK PASSES THROUGH THE RENOVATION AREA TO SERVE OTHER PORTIONS OF THE BUILDING, OR WORK IN THE RENOVATION AREA INDICATED TO REMAIN, IT SHALL BE SUITABLY RELOCATED AND THE SYSTEM RESTORED TO NORMAL. COORDINATE ANY OUTAGES WITH OWNER 7 DAYS IN ADVANCE.
- WORK INDICATED TO REMAIN SHALL BE SUITABLY PROTECTED AGAINST DAMAGE.
- ALL REMOVED DEVICE WALL PENETRATIONS SHALL BE PATCHED AND PAINTED TO MATCH EXISTING WALL COLOR OR FINISH PER ARCHITECT'S DIRECTION.

POWER

- PANELBOARD; RECESSED, SURFACE MOUNTED; MOUNT AT 5-6" AFF TO TOP OF PANEL.
- PANELBOARD; RECESSED, SURFACE MOUNTED; MOUNT AT 5-6" AFF TO TOP OF PANEL.
- MOTOR; AS NOTED
- SAFETY DISCONNECT SWITCH; FUSED, NONFUSED IN NEMA 1 ENCLOSURE UON; MOUNT AT 48" AFF UON; RATING AND FUSING AS NOTED

MISCELLANEOUS

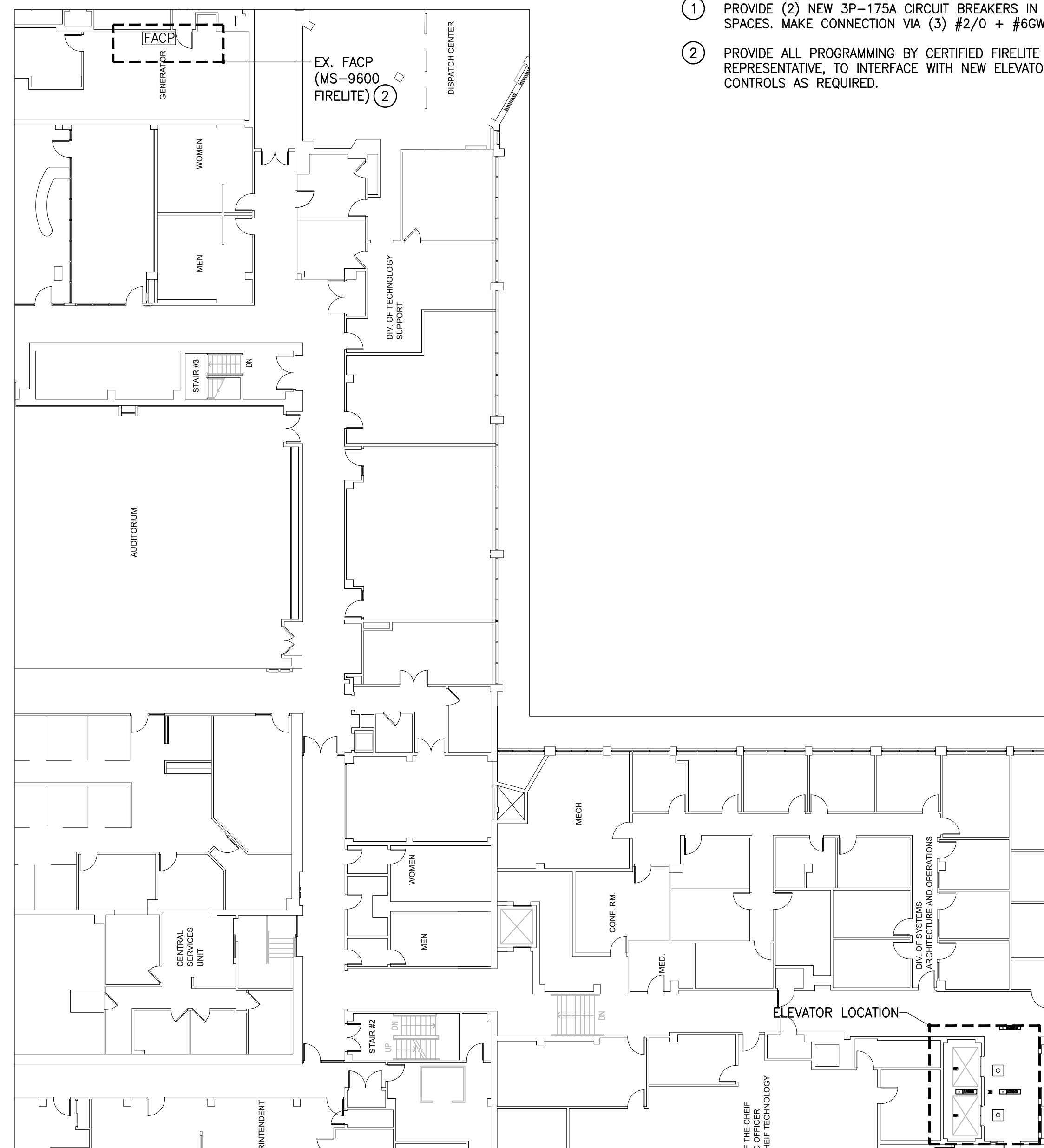
- REFERENCE TO DRAWING NOTE
- DETAIL REFERENCE: DETAIL NUMBER/DRAWING NUMBER
- ITEMS SHOWN DASHED/HEAVY ARE TO BE REMOVED
- ITEMS SHOWN SOLID/LIGHT ARE EXISTING TO REMAIN

FIRE ALARM

- HEAT DETECTOR
- SMOKE DETECTOR
- FIRE ALARM CONTROL PANEL

ABBREVIATIONS:

- | | | | |
|-------|-----------------------------------|-------|--|
| A | AMPERE, AMPERES | MDF | MAIN DISTRIBUTION FRAME |
| AFF | ABOVE FINISHED FLOOR | MLO | MAIN LUGS ONLY |
| AHU | AIR HANDLING UNIT | MPOP | MAIN POINT OF PRESENCE |
| AIC | AMPERE INTERRUPTING CAPACITY | MSB | MAIN SWITCHBOARD |
| ATS | AUTOMATIC TRANSFER SWITCH | MTD | MOUNTED |
| AWG | AMERICAN WIRE GAUGE | MH | MOUNTING HEIGHT/MANHOLE |
| CATV | CABLE TELEVISION | NEC | NATIONAL ELECTRICAL CODE |
| CCTV | CLOSED CIRCUIT TELEVISION | NEMA | NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION |
| C | CONDUIT | NF/SS | NONFUSED SAFETY SWITCH |
| CB | CIRCUIT BREAKER | NO | NUMBER |
| DWG | DRAWING | OC | ON CENTERS |
| ECB | ENCLOSED CIRCUIT BREAKER | P | POLE, POLES |
| EF | EXHAUST FAN | Ø | PHASE |
| EPO | EMERGENCY POWER OFF | PNL | PANEL |
| ETR | EXISTING TO REMAIN | PVC | POLYVINYL CHLORIDE |
| EWC | ELECTRIC WATER COOLER | RAF | RETURN AIR FAN |
| EX | EXISTING | RGS | RIGID GALVANIZED STEEL |
| FAAP | FIRE ALARM ANNUNCIATOR PANEL | RX | REMOVE EXISTING |
| FACP | FIRE ALARM CONTROL PANEL | TYP | TYPICAL |
| FLA | FULL LOAD AMPERES | TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSOR |
| FSS | FUSED SAFETY SWITCH | UH | UNIT HEATER |
| G | GROUND | V | VOLT, VOLTS |
| GFEP | GROUND FAULT EQUIPMENT PROTECTION | VR | VANDALL RESISTANT |
| GFI | GROUND FAULT INTERRUPTING | WP | WEATHERPROOF |
| HOA | HAND-OFF-AUTOMATIC | W | WATTS, WIRE, WIRES |
| HP | HORSEPOWER | XFMR | TRANSFORMER |
| HWH | HOT WATER HEATER GENERATOR | TB | TELEPHONE TERMINAL BOARD |
| IDF | INTERMEDIATE DISTRIBUTION FRAME | UTP | UNSHIELDED TWISTED PAIR |
| IMC | INTERMEDIATE METAL CONDUIT | UON | UNLESS OTHERWISE NOTED |
| KCMIL | THOUSAND CIRCULAR MILS | | |
| KVA | KILOVOLT-AMPERES | | |
| KW | KILOWATT | | |
| LRA | LOCKED ROTOR AMPERES | | |
| MCA | MINIMUM CIRCUIT AMPERES | | |
| MCB | MAIN CIRCUIT BREAKER | | |

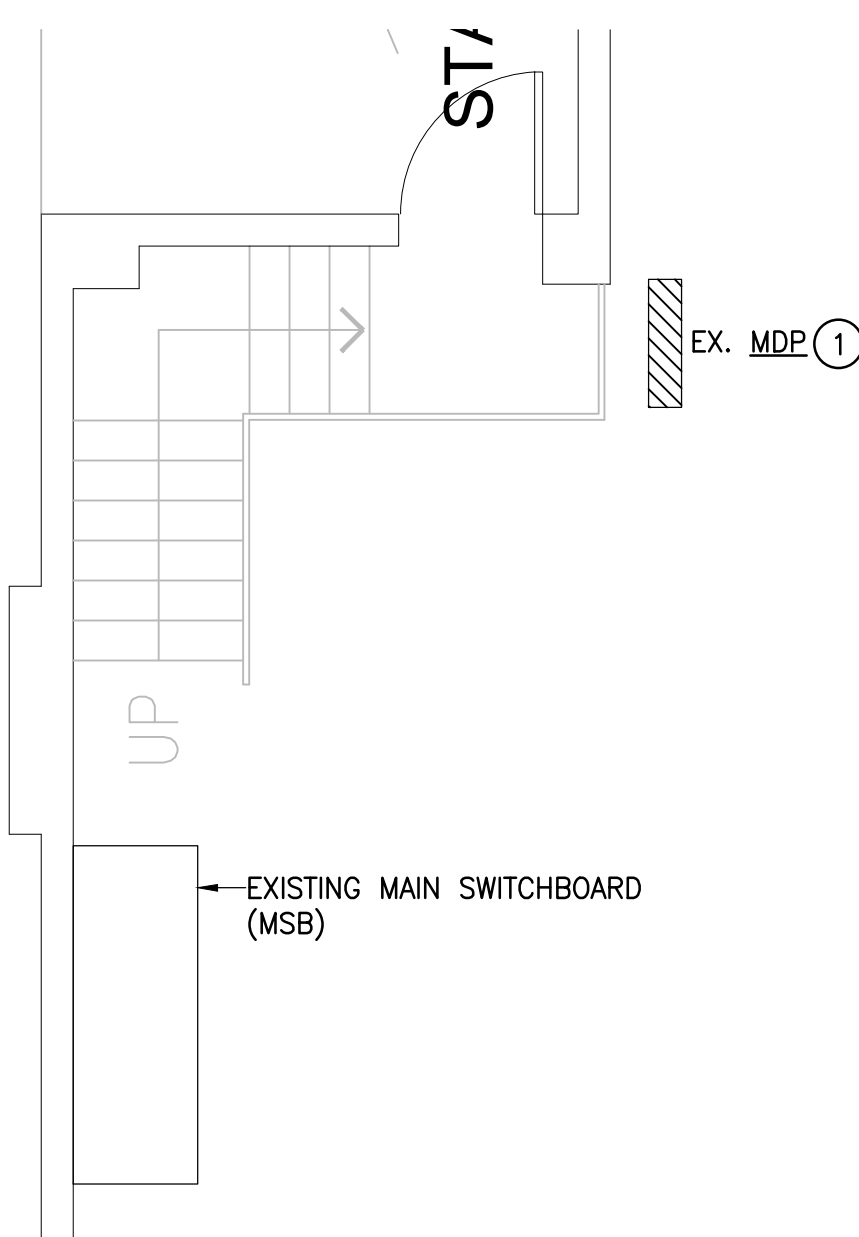


FIRST FLOOR FACP LOCATION

SCALE: 1/16" = 1'-0"

DRAWING NOTES:

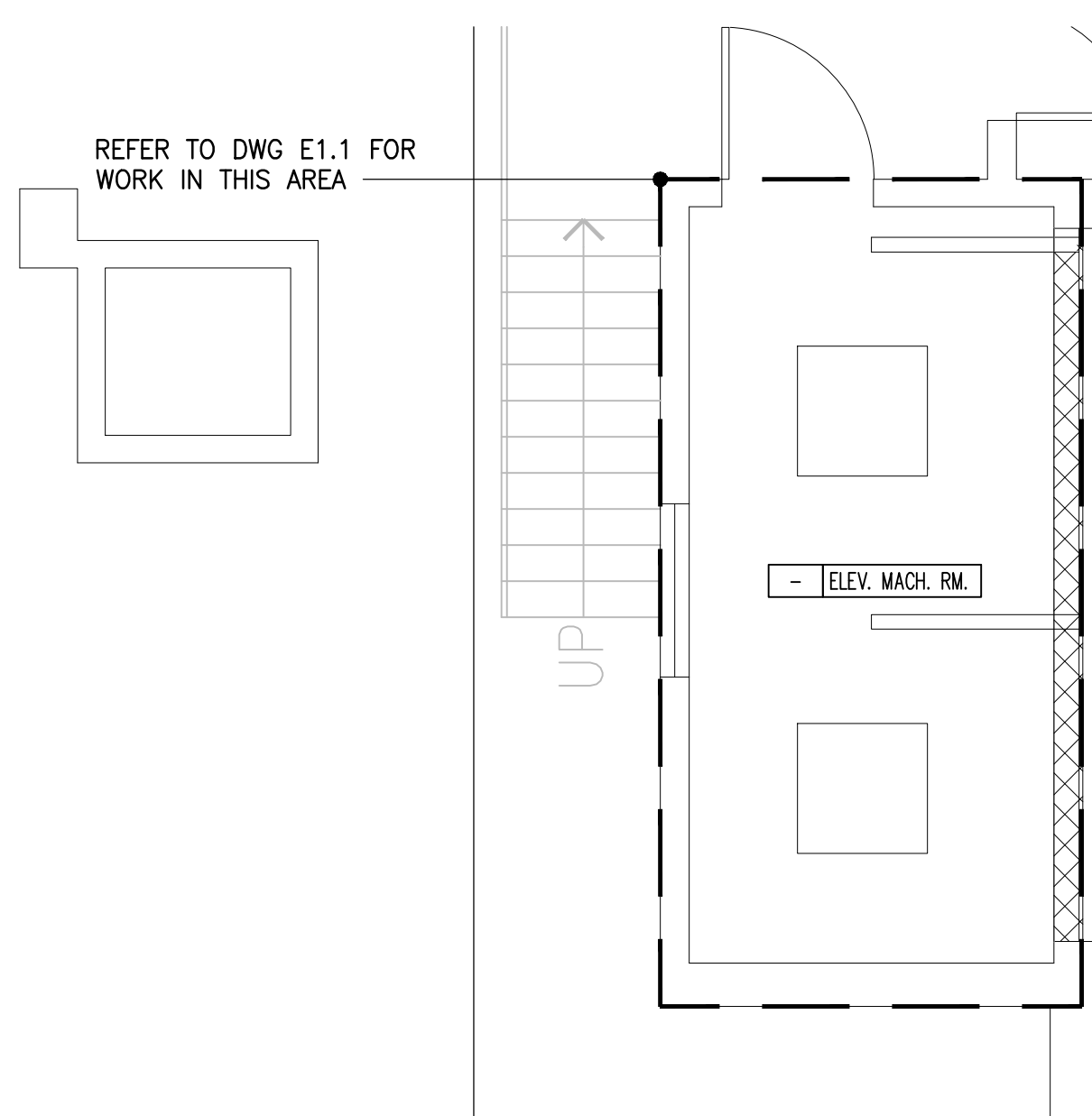
- PROVIDE (2) NEW 3P-175A CIRCUIT BREAKERS IN AVAILABLE SPACES. MAKE CONNECTION VIA (3) #2/0 + #6GW - 2".
- PROVIDE ALL PROGRAMMING BY CERTIFIED FIRELITE REPRESENTATIVE, TO INTERFACE WITH NEW ELEVATOR CONTROLS AS REQUIRED.



HANICAL ROOM

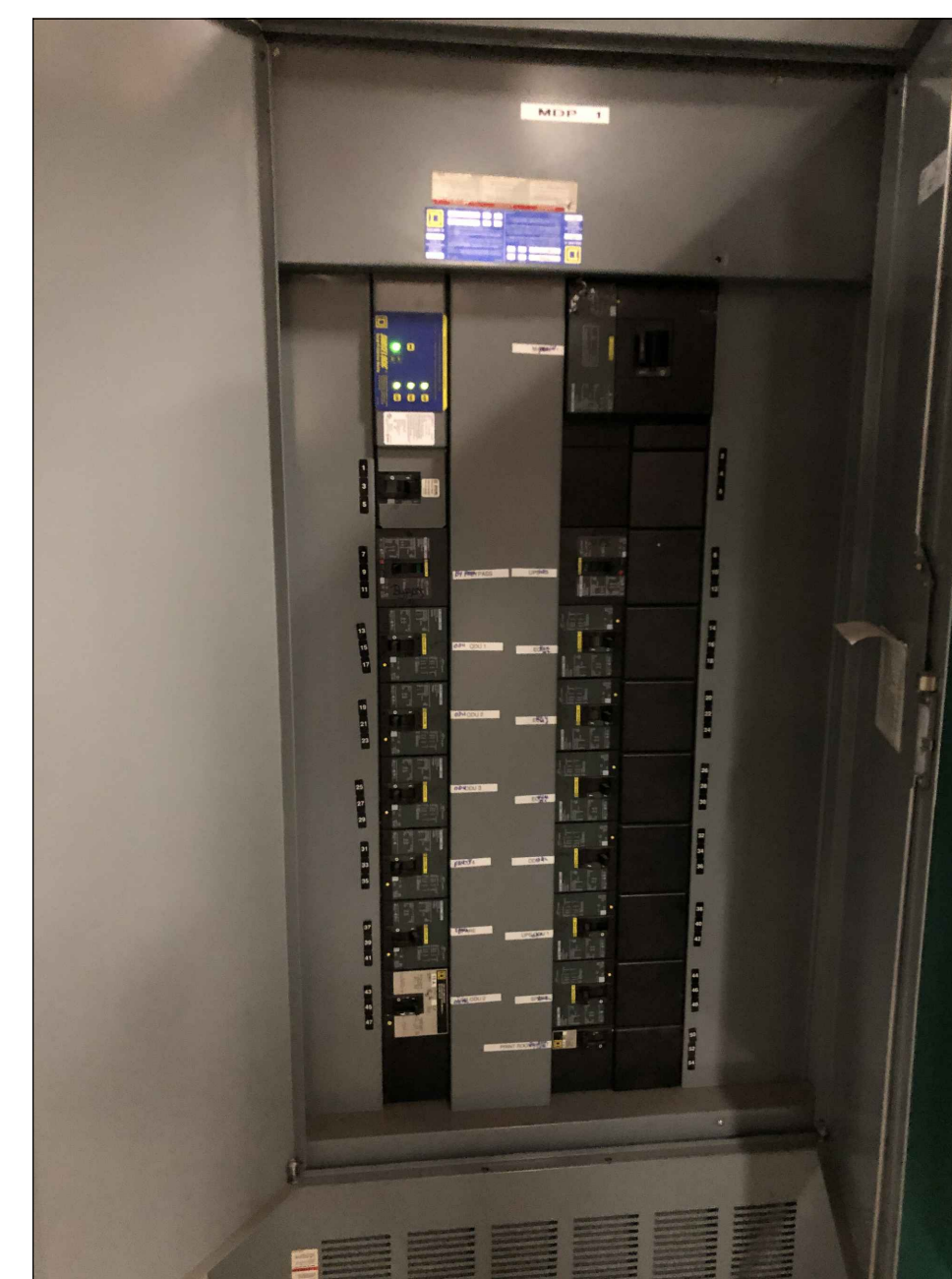
BASEMENT FLOOR ELEC ROOM - POWER

SCALE: 1/4" = 1'-0"

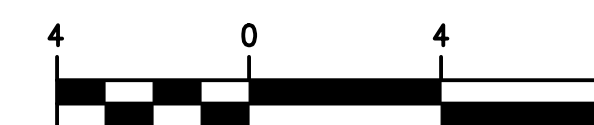


EXISTING MDP

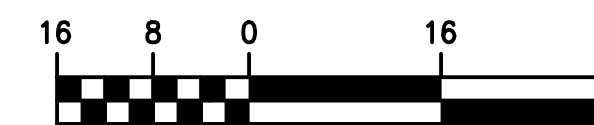
SCALE: NONE



SCALE: 1/4" = 1'-0"



SCALE: 1/16" = 1'-0"



ELEVATOR MODERNIZATION FOR:
CARVER EDUCATIONAL SERVICES CENTER
MONTGOMERY COUNTY PUBLIC SCHOOLS
850 HUNGERFORD DRIVE
ROCKVILLE, MD 20860
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ISSUE		
REV	DATE	DESCRIPTION

PROJECT NO.: 18-12.07
DATE: 10-11-2019
LEGEND, ABBREV.,
CONVENTIONS, &
FIRE ALARM
LOCATION

E0.1



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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT OF THE STATE OF MARYLAND.
LICENSE NO. 36556
EXPIRATION DATE 06-09-2019

CONSTRUCTION DOCUMENTS

